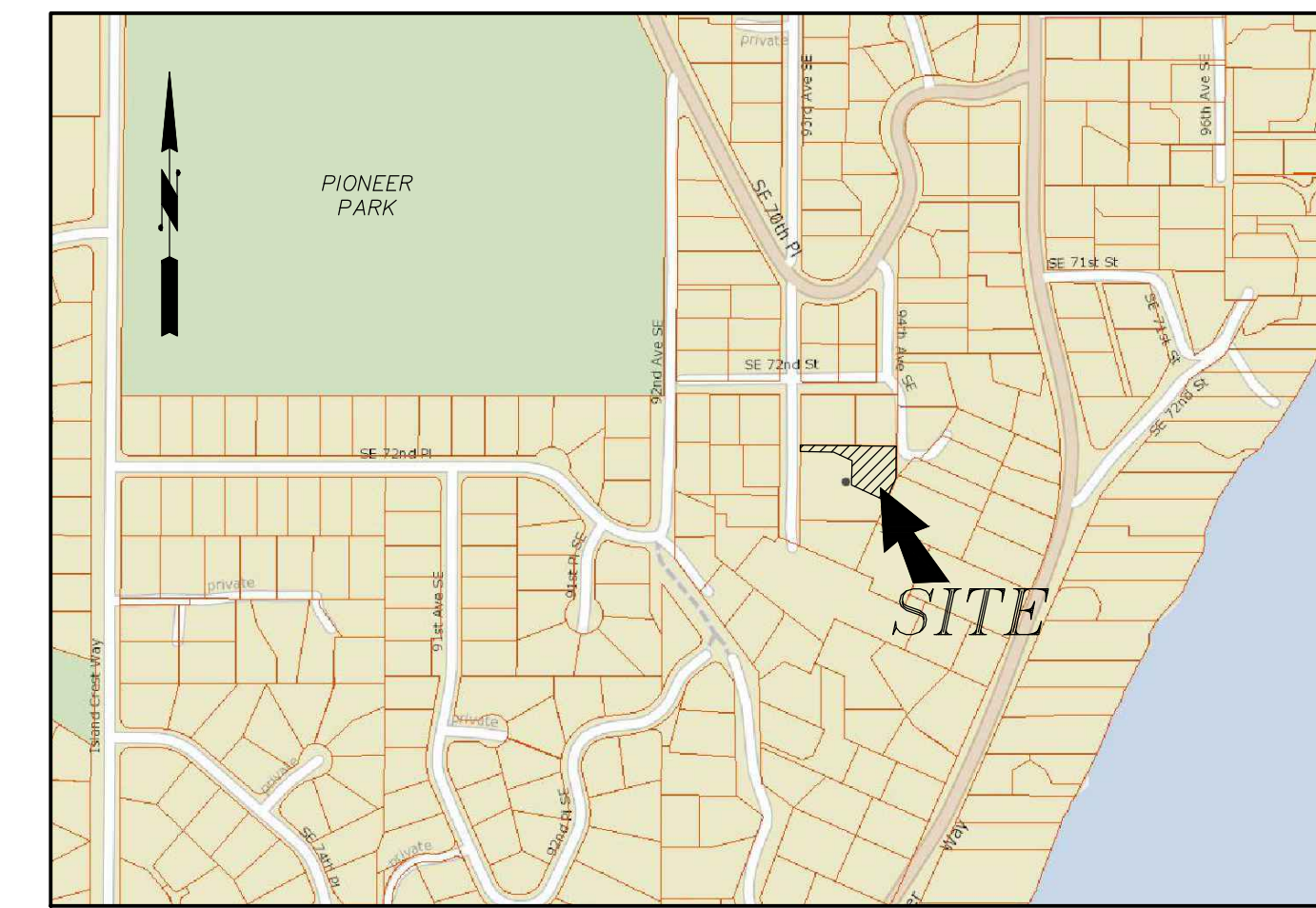


NW 1/4 OF SE 1/4 OF SEC. 30, TWP. 24N., RNG. 5E., W.M.

COVER SHEET

LOT 1 SFR (93RD AVE SE)



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
2. ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
3. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
4. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
6. MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
7. ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.

PROJECT DATA

PROPERTY ADDRESS: 7216 93RD AVENUE SE
MERCER ISLAND, WA 98040
258190-0210
TAX LOT NUMBER:
SITE AREA: 39,144 SF (0.90 ACRES)
ZONING: R-8.4

PROJECT TEAM

OWNER: QUEEN ANNE REAL ESTATE
1823 QUEEN ANNE AVE. N.
SEATTLE, WA 98109
(206) 972-4045
CONTACT: SAM KONSWA

DEVELOPER: PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639
MERCER ISLAND, WA 98040
(206) 724-1072
CONTACT: BOGDAN MAKSYMCHUK

ARCHITECT: McCULLOUGH ARCHITECTS
2910 FIRST AVENUE SOUTH, SUITE 201
SEATTLE, WA 98134
(206) 443-1181
CONTACT: MATT GLASER

CIVIL ENGINEER: G2 CIVIL
1700 NW GILMAN BLVD, SUITE 200
ISSAQUAH, WA 98027
(425) 821-5038
CONTACT: EDWARD MECUM, PE

SURVEYOR: INFORMED LAND SURVEYING
PO BOX 5137
TACOMA, WA 98415-0137
(253) 627-2070
CONTACT: EVAN WAHLSTROM, PLS

GEOTECHNICAL ENGINEERS: SONDERGAARD GEOSCIENCE, PLLC
13012 65TH AVENUE SE
SNOHOMISH, WA 98296
(425) 375-4727
CONTACT: JON SONDERGAARD, LEG

ROBERT M. PRIDE, LLC
13203 HOLMES POINT DRIVE NE
KIRKLAND, WA 98034
(425) 814-3970
CONTACT: ROBERT PRIDE

WETLAND CONSULTANT: WETLAND RESOURCES, INC.
9505 19TH AVENUE SE, SUITE 106
EVERETT, WA 98208
(425) 337-3174
CONTACT: NIELS PEDERSEN, PWS

ARBORIST: LAYTON TREE CONSULTING, LLC
PO BOX 572
SNOHOMISH, WA 98291-0572
(425) 220-5711
CONTACT: BOB LAYTON

LEGAL DESCRIPTION

TRACTS 20 THROUGH 22, INCLUSIVE, IN BLOCK 4 OF FLOOD'S LAKE SIDE TRACTS RECORDED IN VOLUME 34 OF PLATS, PAGE 6, RECORDS OF KING COUNTY, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

HORIZONTAL DATUM

NAD 1983(2011) PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

SURVEYOR'S NOTES

1. THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A LEICA 1203 3" ROBOTIC TOTAL STATION AND GSI4RTK GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332-130.
2. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON JULY 2, 2019 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET ON JULY 2, 2019. THIS SITE CONTAINS IMPROVEMENTS NOT LOCATED OR SHOWN AS A PART OF THIS SURVEY.

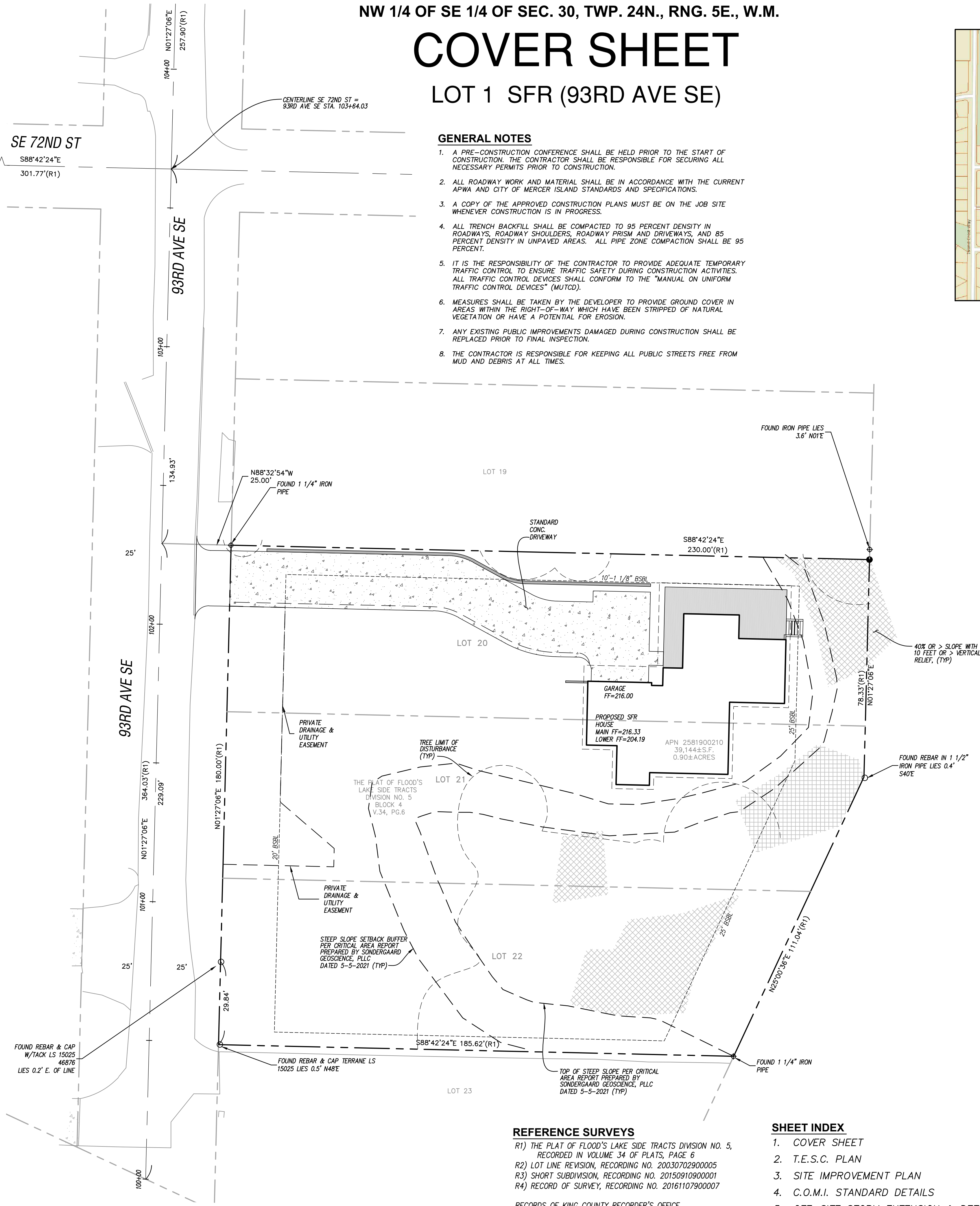
NOTE

G2 CIVIL WAS NOT AWARE OF THE ISSUES ASSOCIATED WITH THE PERMIT CE20-0057 AND WILL NOT ACCEPT ANY LIABILITY REGARDING THIS PERMIT.

LEGEND

- SET REBAR & CAP EMW LS #44651
- ⊕ FOUND IRON PIPE (AS SHOWN)
- ⊕ FOUND CASED MONUMENT (AS SHOWN)
- ☐ MAIL BOX
- ☼ YARD LIGHT
- ⚡ POWER POLE
- ⚡ POWER POLE W/TRANSFORMER & DROP
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ IRRIGATION CONTROL BOX
- ⊕ CATCH BASIN OR DRYWELL (AS SHOWN)
- ⊕ SEWER MANHOLE
- CEDAR TREE
- FRUIT TREE
- MAPLE TREE
- EVERGREEN TREE
- TREE STUMP
- ★ EXCEPTIONAL TREE >=24"
- STORM DRAIN LINE
- SEWER LINE
- APPROXIMATE WATER LINE
- OVERHEAD UTILITY LINE
- WOOD FENCE
- CHAIN LINK FENCE
- EDGE OF HEDGES
- (R) DISTANCE PER REFERENCE
- ▨ =40% OR > SLOPE WITH 10 FEET OR > VERTICAL RELIEF

FOUND CASED BRASS PIN
IN CONC. DOWN 1.2'
FOUND AT THE
INTERSECTION OF 92ND
AVE SE AND SE 72ND PL



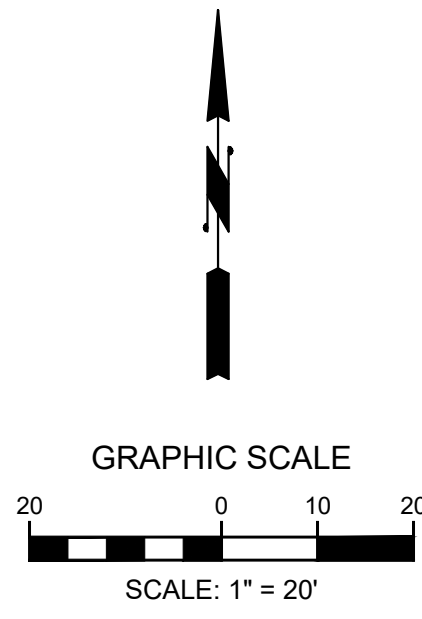
REFERENCE SURVEYS

- R1) THE PLAT OF FLOOD'S LAKE SIDE TRACTS DIVISION NO. 5, RECORDED IN VOLUME 34 OF PLATS, PAGE 6
- R2) LOT LINE REVISION, RECORDING NO. 20030702900005
- R3) SHORT SUBDIVISION, RECORDING NO. 20150910900001
- R4) RECORD OF SURVEY, RECORDING NO. 20161107900007

RECORDS OF KING COUNTY RECORDER'S OFFICE

SHEET INDEX

1. COVER SHEET
2. T.E.S.C. PLAN
3. SITE IMPROVEMENT PLAN
4. C.O.M.I. STANDARD DETAILS
5. OFF-SITE STORM EXTENSION & DETAILS

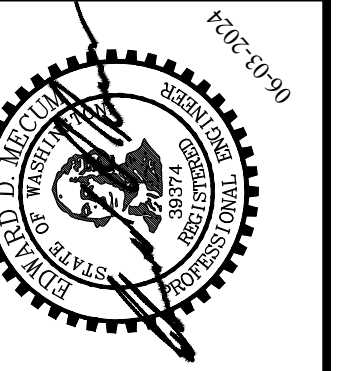


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- (R) DISTANCE PER REFERENCE
- ▨ =40% OR > SLOPE WITH 10 FEET OR > VERTICAL RELIEF



Know what's below.
Call before you dig.



DATE	CHG BY	NOTES
04-02-24	EDM	DRAINAGE & SIDE SEWER REVISIONS
06-03-24	EDM	DETENTION TANK & UTILITY REVISION

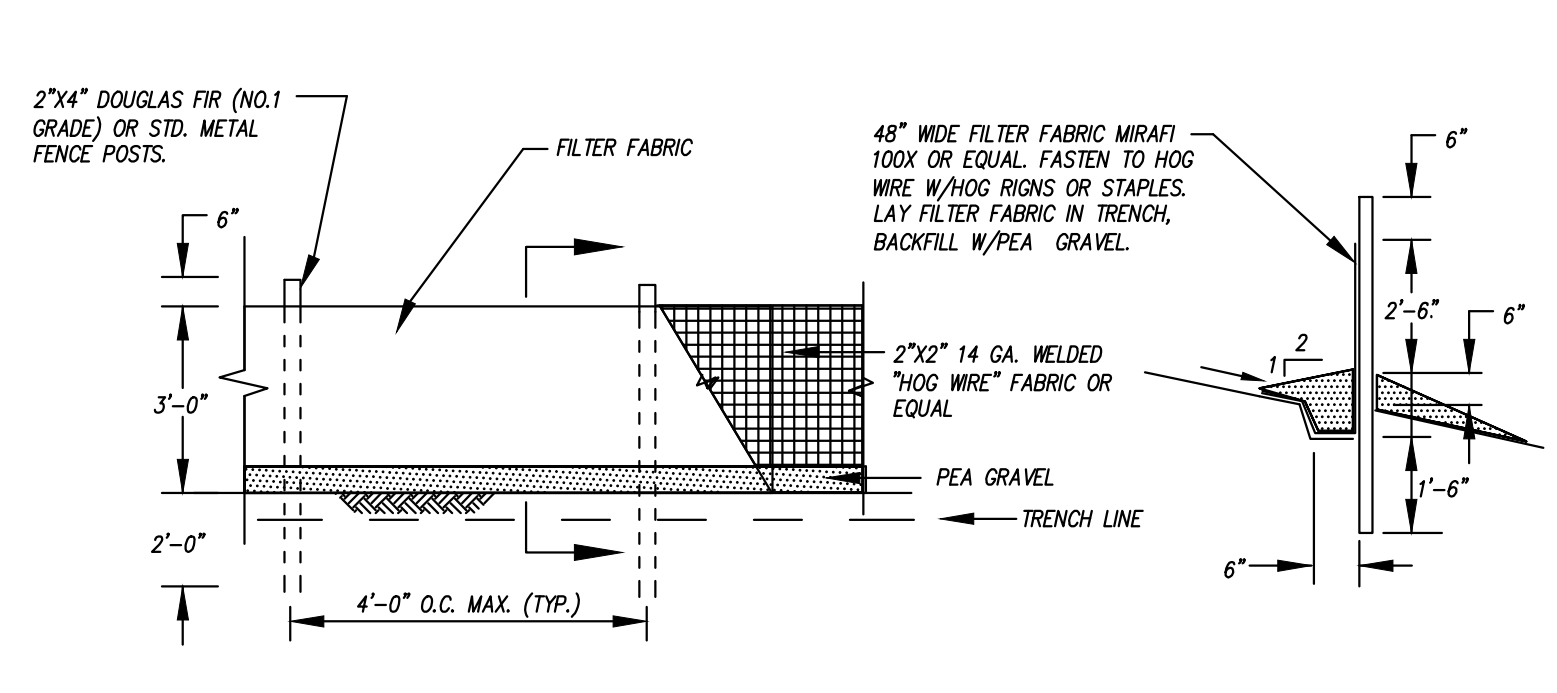
1700 NW GILMAN BLVD, STE 200
ISSAQUAH, WA 98027
G2 CIVIL PHONE: (425) 821-5038

COVER SHEET
LOT 1 - SFR (93RD AVE SE)

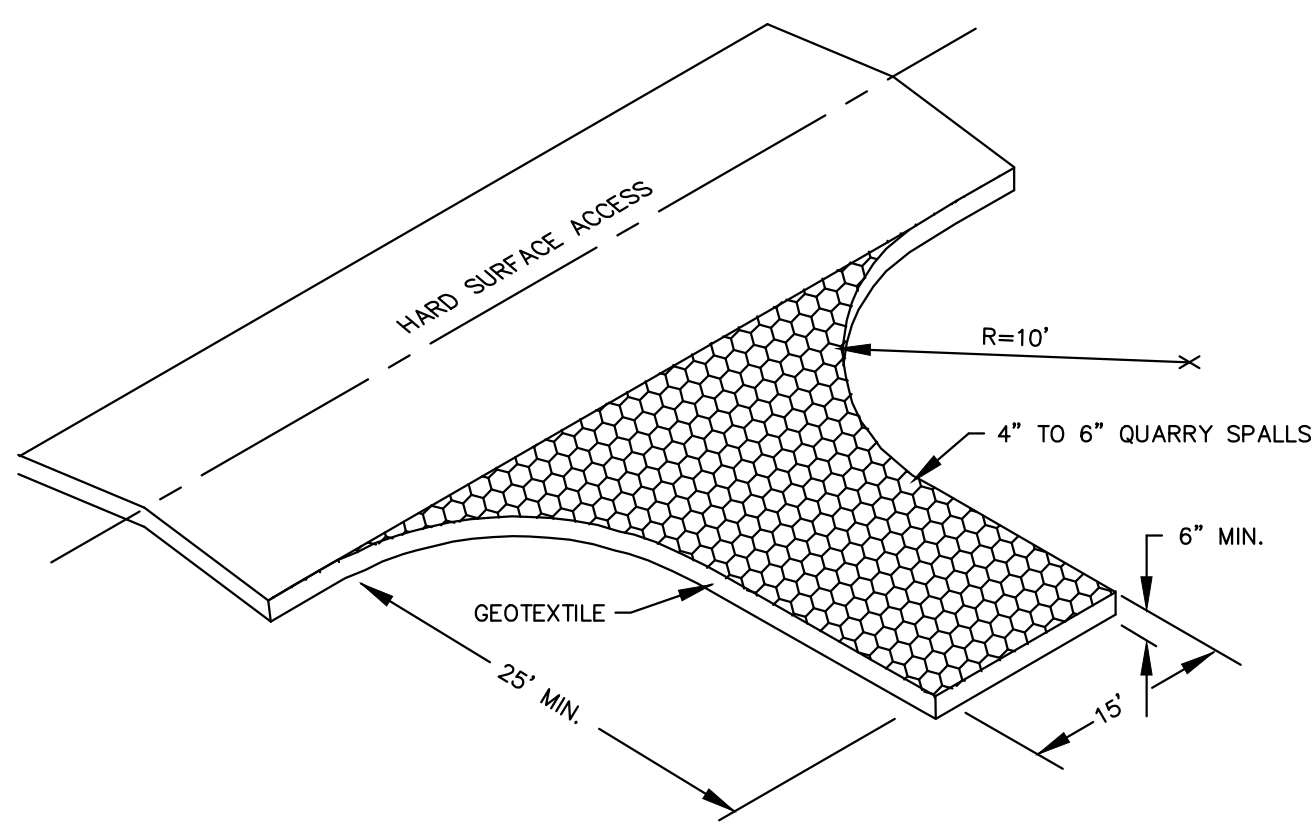
PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCER ISLAND, WA 98040
(206) 724-1072

SHEET

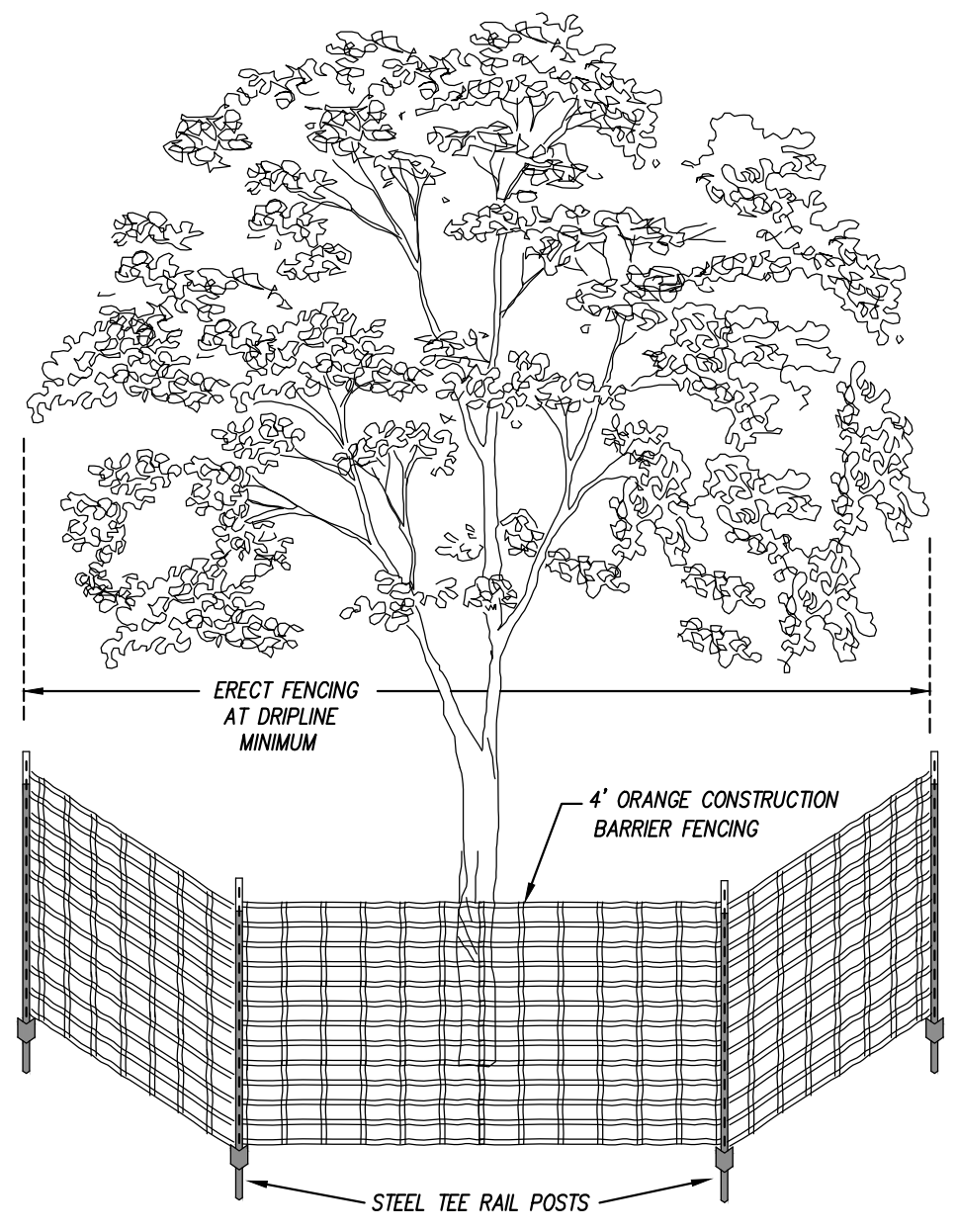
1 of 5



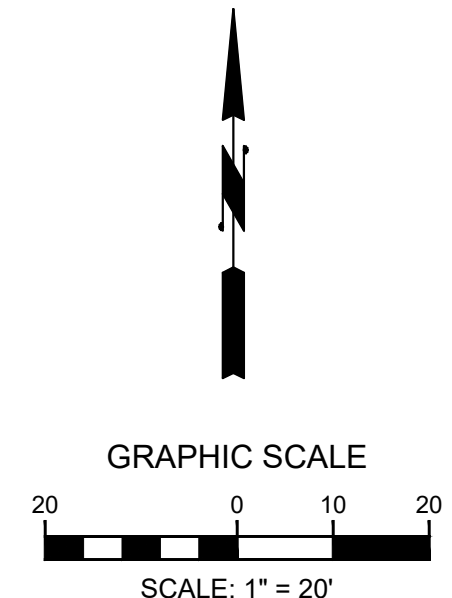
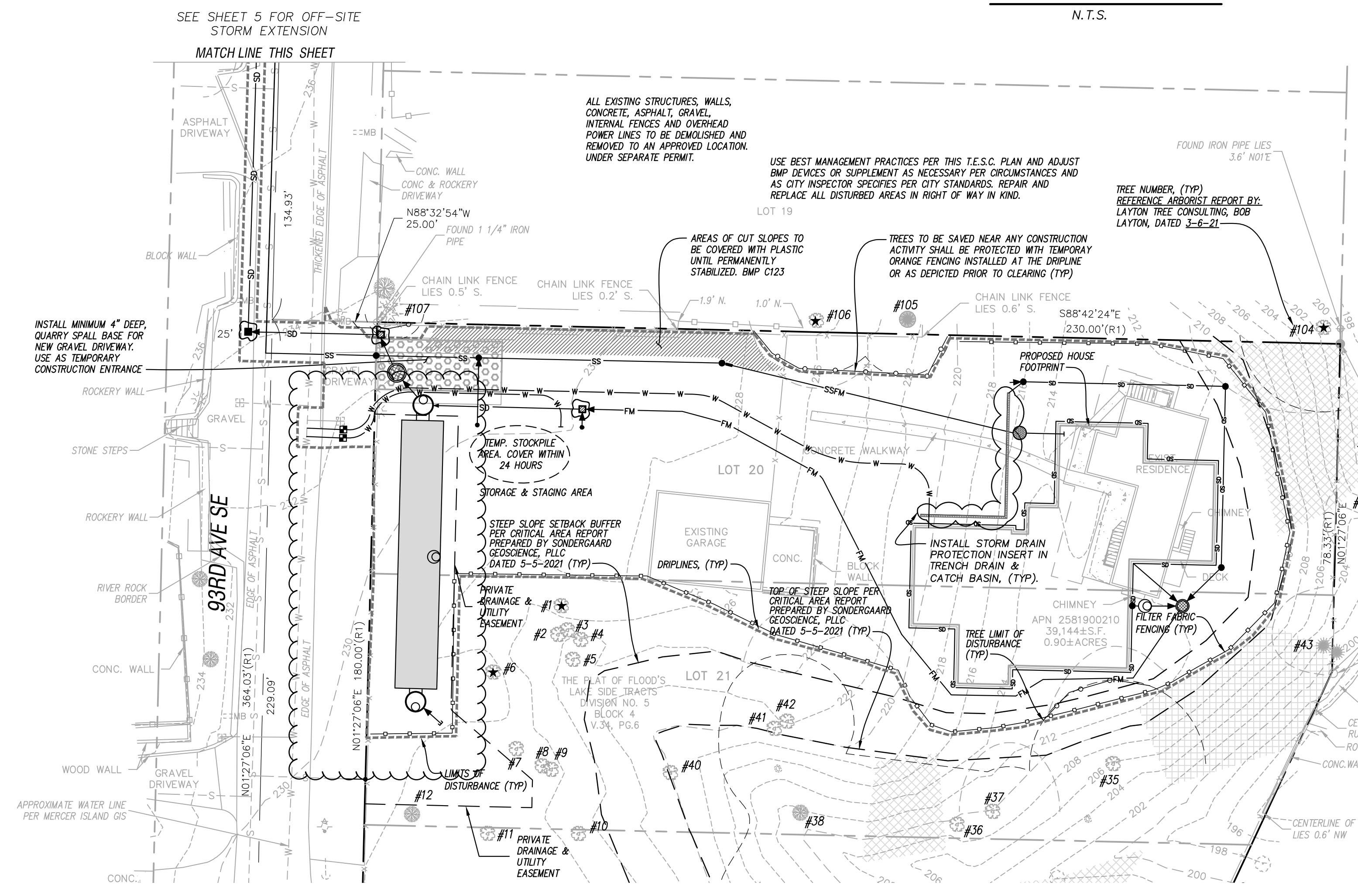
FILTER FABRIC FENCING
N.T.S.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



TREE PROTECTION DETAIL
N.T.S.

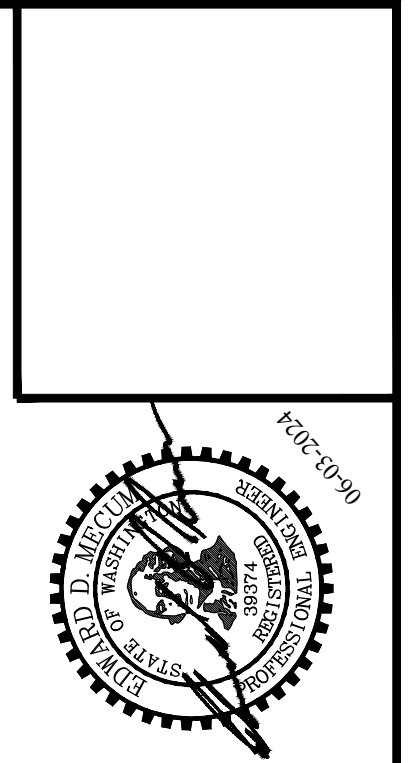


CONSTRUCTION SEQUENCE

1. ATTEND PRE-CONSTRUCTION MEETING
2. FLAG CLEARING LIMITS
3. INSTALL ORANGE TREE BARRIER FENCING
4. INSPECTION BY CITY OF MERCER ISLAND INSPECTOR
5. EROSION CONTROL DEVICES AND RESOURCES TO COVER ALL SOIL, IN CASE OF EROSION RISK, ARE TO BE ON THE SITE AT ALL TIMES
6. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
7. CLEAR AND GRUB WITHIN CLEARING LIMITS
8. INSTALL DETENTION TANK FOR TEMPORARY CONSTRUCTION DRAINAGE
9. SITE GRADING
10. INSTALL UNDERGROUND UTILITIES
11. TEMPORARY COVER OR APPLY PERMANENT VEGETATION, WHICH EVER IS APPROPRIATE
12. FINISH GRADE
13. APPLY PERMANENT VEGETATION AND MULCH ALL DISTURBED AREAS
14. FLUSH DETENTION TANK SYSTEM BEFORE PERMANENT USE
15. CLEAN-UP THE SITE. TEMPORARY EROSION CONTROL DEVICES MAY BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NECESSARY

EROSION / SEDIMENTATION CONTROL NOTES

1. PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, ALL CLEARING LIMITS, EASEMENTS, SETBACKS, TREES AND DRAINAGE COURSES SHALL BE CLEARLY DEFINED AND MARKED IN THE FIELD TO PREVENT DAMAGE AND OFFSITE IMPACTS.
2. CONSTRUCTION VEHICLE ACCESS AND EXIT SHALL BE LIMITED TO ONE ROUTE IF POSSIBLE. ACCESS POINTS SHALL BE STABILIZED WITH QUARRY SPALLS OR CRUSHED ROCK TO MINIMIZE THE TRACKING OF SEDIMENTS ONTO PUBLIC STREETS. WHEEL WASH OR TIRE BATHS SHALL BE LOCATED ON-SITE. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE PAVEMENT SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE PAVEMENT BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING WILL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. PAVEMENT WASHING SHALL NOT OCCUR UNTIL ALL STORM DRAIN INLETS, LOCATED DOWNSTREAM OF THE WASHING AREA, HAVE BEEN PROTECTED BY PLACEMENT OF A FILTER CLOTH UNDER THE INLET GRATE.
3. PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE PROJECT SITE.
4. PRIOR TO LEAVING THE SITE, STORMWATER RUNOFF SHALL PASS THROUGH APPROVED SEDIMENT BARRIERS OR FILTERS, DIKES, OR ANY OTHER APPROVED FACILITY INTENDED TO TRAP SEDIMENT. THESE SEDIMENT CONTROLLING MEASURES SHALL BE CONSTRUCTED AS THE FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY OTHER LAND DISTURBING ACTIVITY TAKES PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIMING INDICATED UNDER ITEM 5.
5. ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY THE PLACEMENT OF SOD OR OTHER VEGETATION, PLASTIC COVERING, MULCHING, APPLICATION OF BASE ROCK WITHIN AREAS TO BE PAVED, OR SOME OTHER APPROVED MEANS, TO PROTECT THE SOIL FROM THE EROSION FORCES OF RAINDROP IMPACT AND FLOWING WATER. FROM OCTOBER 1 THROUGH APRIL 30, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 THROUGH SEPTEMBER 30, NO SOIL SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. THIS CONDITION APPLIES TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT. THE SOIL STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, ESTIMATED DURATION OF USE, AND THE POTENTIAL WATER QUALITY IMPACTS THAT THE STABILIZATION MEASURES MAY HAVE ON THE DOWNSTREAM WATERS. SOIL STOCKPILES SHALL BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES.
6. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. CONSIDER SOIL TYPE AND ITS POTENTIAL FOR EROSION. REDUCE SLOPE RUNOFF VELOCITIES BY (1) REDUCING THE LENGTH OF CONTINUOUS SLOPES BY USING TERRACING AND DIVERSIONS, (2) REDUCING THE GRADE OF THE SLOPE, AND (3) ROUGHEN SLOPE SURFACE. CONTAIN DOWNSLOPE COLLECTED WATER IN PIPES OR PROTECTED CHANNELS.
7. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS.
8. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION. STABILIZATION, INCLUDING ARMORING MATERIAL, ADEQUATE TO PREVENT EROSION AT ALL DISCHARGE POINTS, ADJACENT STREAM BANKS, SLOPES AND DOWNSTREAM REACHES, SHALL BE PROVIDED.
9. ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF, MUST BE CONDUCTED UNDER COVER AND ON IMPERVIOUS SURFACES. THESE SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILLAGE INCIDENT. WHEEL WASH, OR TIRE BATH WASTEWATER, SHALL NOT BE DISCHARGED TO THE STORM DRAIN, OR ON-SITE STORMWATER TREATMENT SYSTEM.
10. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.



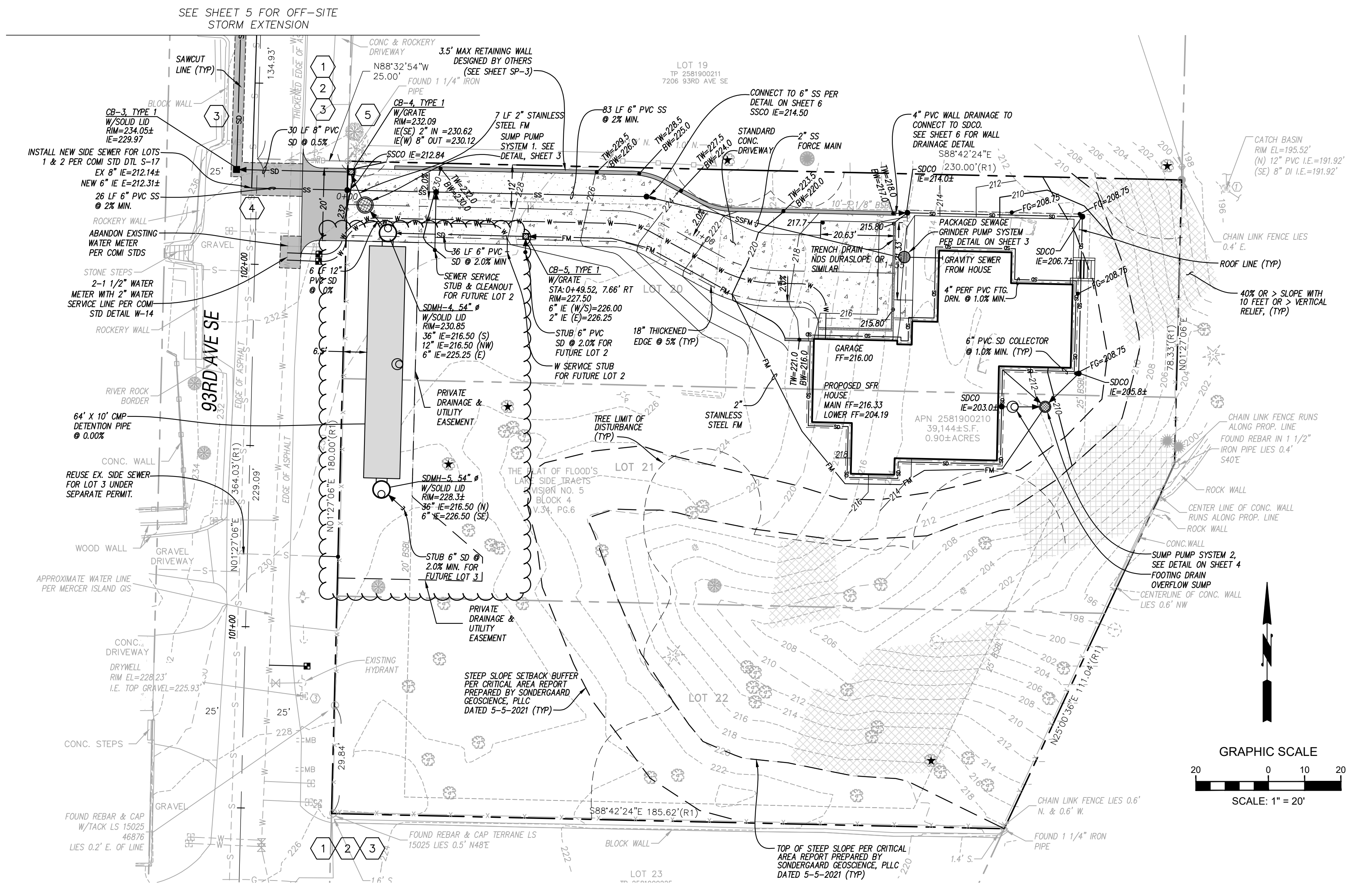
DATE	CHKD BY	DATE	CHKD BY	NOTES
04-02-24	EDM	06-03-24	EDM	DRAINAGE & SIDE SEWER REVISIONS
	JAT		JAT	DETENTION TANK & UTILITY REVISION

1700 NW GILMAN BLVD, STE 200
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

G2 CIVIL

T.E.S.C. PLAN
LOT 1 - SFR (93RD AVE SE)

PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCE ISLAND WA 98042
(206) 724-1072



SITE IMPROVEMENT NOTES

1. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
2. THESE PLANS ARE APPROVED FOR GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ONLY. PLANS FOR STRUCTURES REQUIRE A SEPARATE REVIEW AND APPROVAL.
3. RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH CITY AND WSDOT STANDARD SPECIFICATIONS.
5. THIS PLAN DOES NOT NECESSARILY SHOW THE LOCATION OF ALL EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION.
6. THE CONTRACTOR SHALL EXPOSE ALL EXISTING PIPING THAT WILL BE CONNECTED TO WITH NEW PIPING. DEPTH, LOCATION, AND CONDITION SHALL BE RELATED TO THE ENGINEER IF CONDITIONS VARY SIGNIFICANTLY FROM WHAT IS DETAILED OR ANTICIPATED.
7. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO DETAILS AND SPECIFICATIONS OF CITY STANDARDS. ALL CONSTRUCTION DEBRIS GENERATED DURING CONSTRUCTION TO BE REMOVED & DISPOSED OF AT AN APPROVED LOCATION OFF-SITE.
8. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.

GRADING NOTES

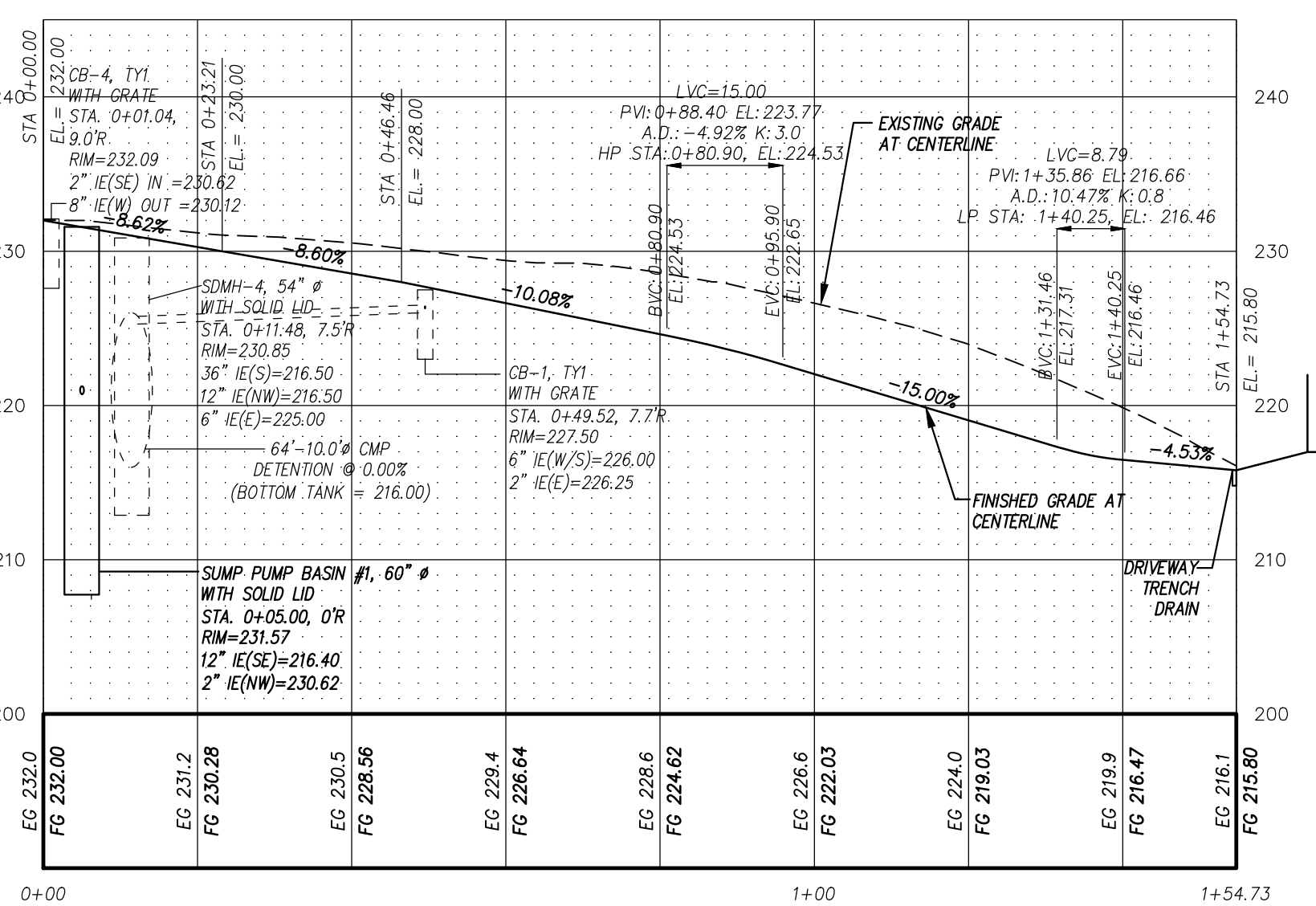
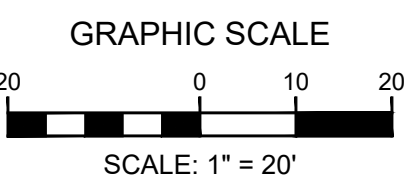
1. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
2. THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY GEO DIMENSIONS, INC.
3. ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
5. ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A BUILDING PERMIT.
6. IT WILL BE THE PERMITEE'S RESPONSIBILITY TO SUCCESSFULLY CAP AND ABANDON ALL EXISTING UTILITIES WITHIN THE DEVELOPMENT IN ACCORDANCE TO THE GEOTECHNICAL RECOMMENDATIONS.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

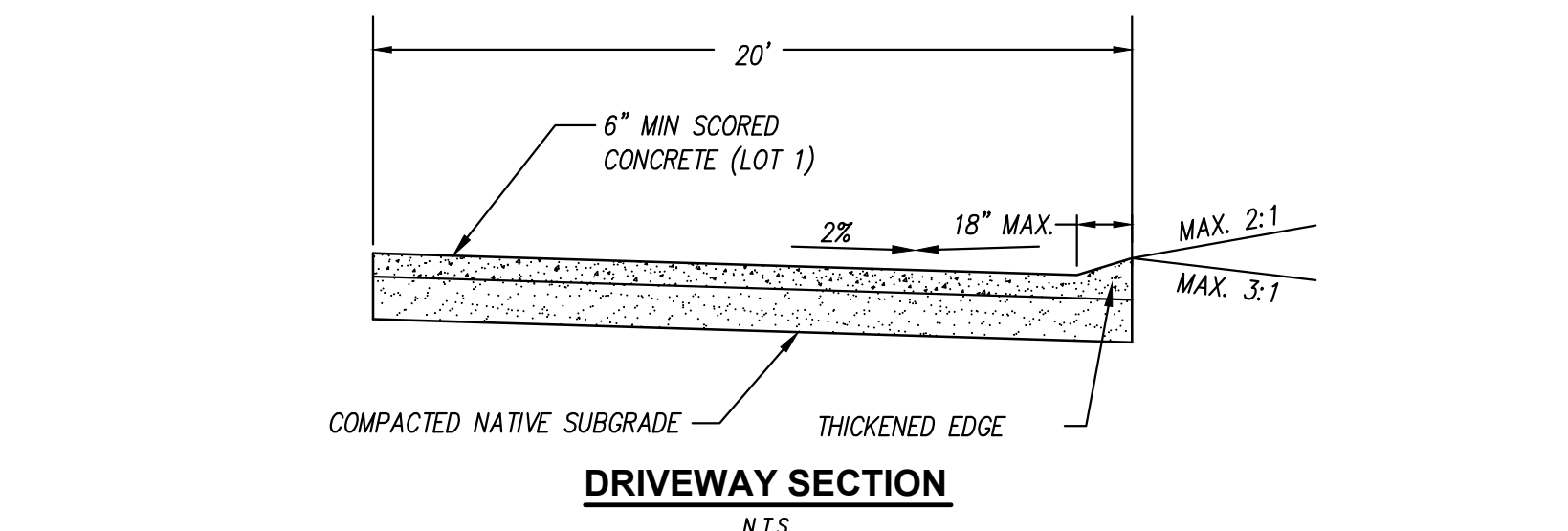
1. THESE PLANS ARE APPROVED FOR STANDARD ROAD AND DRAINAGE IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS RETAINING WALLS HIGHER THAN 4' REQUIRE A SEPARATE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
3. SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCAL/DIMENSIONAL ASPECTS OF BUILDINGS.
4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL BUILDING AND RETAINING WALL DETAILS.
5. COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND LANDSCAPE PLANS IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

DRAINAGE GENERAL NOTES

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
2. BEFORE ANY CONSTRUCTION MAY OCCUR, THE CONTRACTOR SHALL HAVE PLANS WHICH HAVE BEEN SIGNED AND APPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT, OBTAINED ALL CITY, COUNTY, STATE, FEDERAL AND OTHER REQUIRED PERMITS, AND HAVE POSTED ALL REQUIRED BONDS.
3. ALL STORM DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND PUBLIC WORKS PRE-APPROVED PLANS AND POLICIES AND THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, PREPARED BY WSDOT AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
4. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL. ALL CHANGES SHALL BE SUBMITTED TO THE CITY.
5. A COPY OF THE APPROVED STORM WATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE CITY OF MERCER ISLAND DEPARTMENT OF PUBLIC WORKS FOR THE PREVENTION OF ON-SITE EROSION AFTER THE COMPLETION OF CONSTRUCTION.
7. MINIMUM COVER OVER STORM DRAINAGE PIPES IN ROW OR VEHICULAR PATH SHALL BE 18 INCHES, UNLESS OTHER DESIGN IS APPROVED.
8. CONSTRUCTION OF DEWATERING (GROUNDWATER) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS.
9. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, CONFINED SPACE PROTECTION, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT.
11. APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY LOCATIONS WHETHER OR NOT THESE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE TO ANY UTILITY. IF CONFLICTS WITH EXISTING UTILITIES ARE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY CONSTRUCTION INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE DEVELOPMENT ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
12. THE UNDERGROUND UTILITY LOCATION SERVICE SHALL BE CONTACTED FOR FIELD LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE CONTACTED IF A UTILITY CONFLICT EXISTS. FOR UTILITY LOCATION IN KING COUNTY, CALL 811. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT UTILITY LOCATES ARE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
13. OPEN CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAY SHALL BE BACKFILLED ONLY WITH 5/8" MINUS CRUSHED ROCK AND MECHANICALLY COMPACTED (UNLESS OTHERWISE APPROVED BY THE CITY) CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW OR JACKHAMMER IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE A MINIMUM OF 1" THICKER THAN THE ORIGINAL ASPHALT WITH A MINIMUM THICKNESS OF 2".
14. ALL DAMAGES INCURRED TO PUBLIC AND/OR PRIVATE PROPERTY BY THE CONTRACTOR DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE CITY CONSTRUCTION INSPECTOR BEFORE PROJECT APPROVAL AND/OR THE RELEASE OF THE PROJECT'S PERFORMANCE BOND.
15. GROUT ALL SEAMS AND OPENINGS IN ALL INLETS, CATCH BASINS, AND MANHOLES.



DRIVEWAY C/L PROFILE
1"=20' HORIZ, 1"=10' VERT.



DRIVEWAY SECTION
N.T.S.

STORMWATER PUMP SYSTEM NOTES

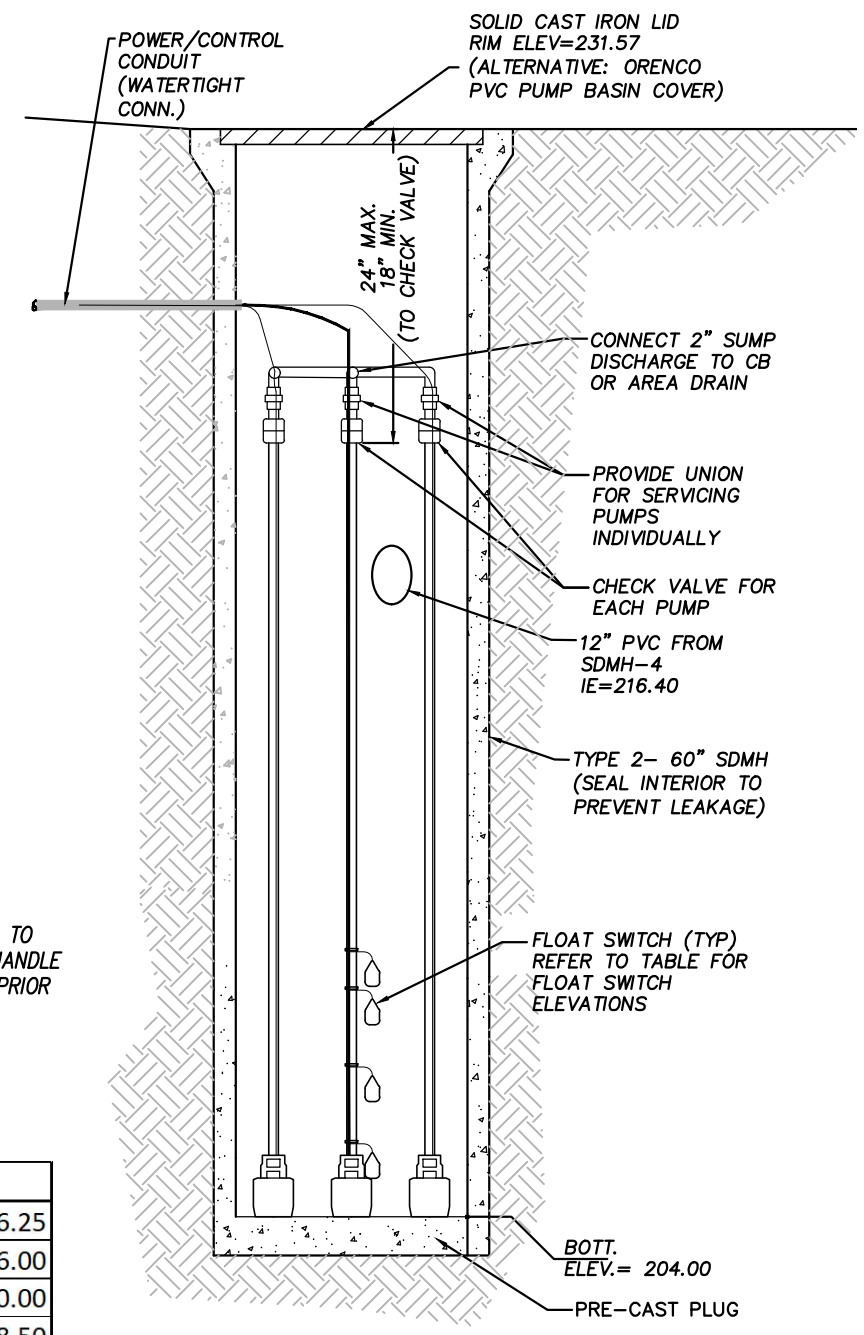
- 1) THE PUMP SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED. THE PUMP SYSTEM SHALL HAVE A DUAL PUMP (ALTERNATING), UNLESS OTHERWISE APPROVED.
- 2) THE PUMP SYSTEM SHALL BE USED TO CONVEY WATER FROM ONE LOCATION OR ELEVATION TO ANOTHER WITHIN THE PROJECT SITE, PRIOR TO GRAVITY DISCHARGE TO THE PUBLIC STORM DRAINAGE SYSTEM.
- 3) THE PUMP SYSTEM MUST BE CONNECTED TO AN EMERGENCY BACK-UP GENERATOR.
- 4) ALL PUMPS SHALL BE EQUIPPED WITH AN EXTERNAL VISUAL AND AUDIBLE ALARM SYSTEM.
- 5) THE PUMP SYSTEM SHALL NOT VIOLATE ANY CITY ORDINANCES OR CODES.
- 6) NO FORCED MAIN SYSTEM SHALL BE DIRECTLY CONNECTED TO THE CITY'S STORM CONVEYANCE. ALL FORCED MAIN FROM PUMP SYSTEMS SHALL CONNECT TO A CB OR YARD DRAIN ON SITE AND GRAVITY TO THE STORM SYSTEM IN THE RIGHT-OF-WAY.

DESIGN PARAMETERS:
2- ORENCO PVA500S11 ALTERNATING SUMP PUMPS OR EQUAL
TOTAL DYNAMIC HEAD=15 FT
FLOW RATE=42.4 GPM
LIBERTY 451 SUMP PUMP OR EQUIVALENT
TOTAL DYNAMIC HEAD=15 FT
FLOW RATE=6.2 GPM

FLOAT SWITCH ELEVATION TABLE	
HIGH WATER ALARM	226.25
UP=PUMP 3 ON/ DOWN = PUMP 3 OFF	226.00
PUMP 1 OFF/PUMP 2 ON	220.00
PUMP 1 ON	218.50
PUMPS OFF	216.50

PUMP NOTE:
PUMP 1 = 8 GPM (LIBERTY 451 OR EQUAL)
PUMPS 2 & 3 = 30 GPM (ORENCO PVA500S11 OR EQUAL)

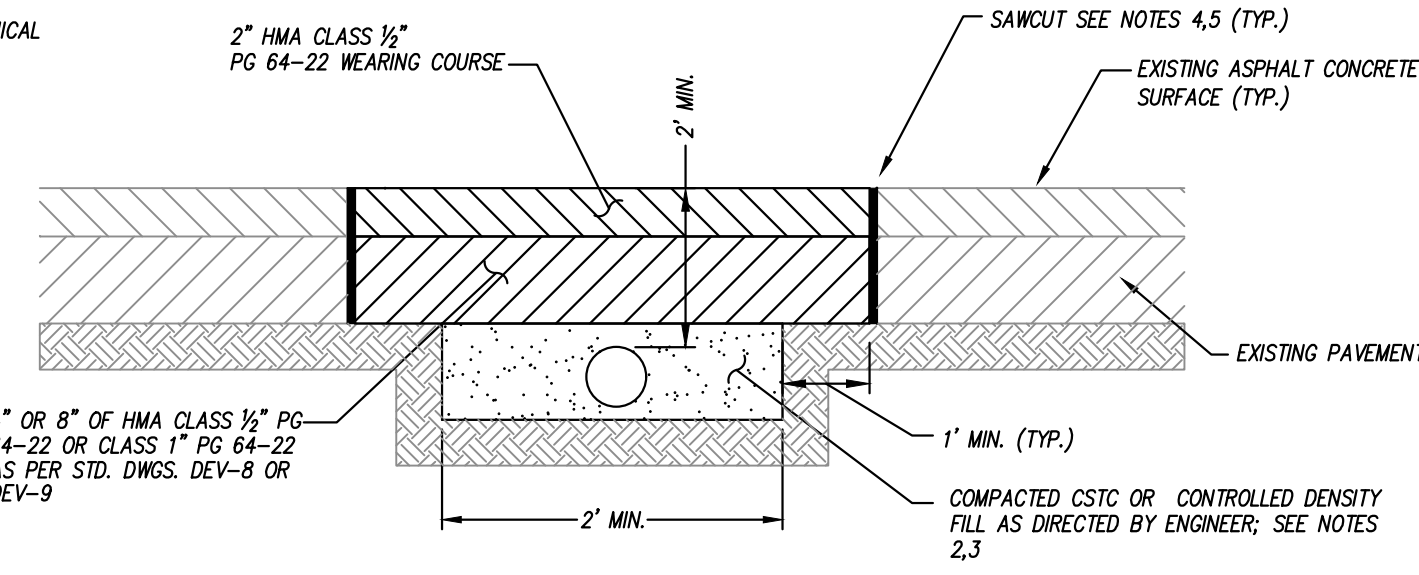
SUMP PUMP SYSTEM 1 DETAIL
N.T.S.



DESIGN PARAMETERS:
TOTAL DYNAMIC HEAD=25.9 FT
FLOW RATE=48.0 GPM
ORENCO PFSW10012-B ALTERNATING SUMP PUMPS OR EQUAL
PUMP MANUFACTURER TO CONFIRM PUMP CAN HANDLE DESIGN PARAMETERS PRIOR TO PLACING ORDER.

PFSW10012-B-FLOAT SWITCH ELEVATION TABLE	
HIGH WATER ALARM	203.19
LAG PUMP ON	203.02
LEAD PUMP ON	202.86
PUMPS OFF	199.19

SEWER SUMP PUMP SYSTEM DETAIL
N.T.S.



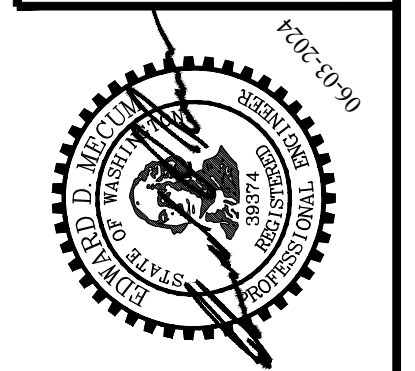
NOTES

1. ASPHALT CONCRETE MIX SHALL BE HMA CLASS 1/2" OR CLASS 1" PG 64-22.
2. ALL TRENCH BACKFILL SHALL BE CSTC OR CONTROLLED DENSITY FILL.
3. CONTROLLED DENSITY FILL SHALL MEET WSDOT STANDARDS AS STATED IN 2-08.3(1)E OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION MANUAL M41-10, CURRENT EDITION.
4. ALL SAW CUTS SHALL BE VERTICAL AND IN STRAIGHT LINES UNLESS OTHERWISE DIRECTED BY ENGINEER.
5. TACK ASPHALT FACES OF SAW CUTS AND SEAL SAW CUTS WITH PG 64-22 OIL.
6. HOT MIX ASPHALT SHALL BE A MINIMUM OF 6 INCHES THICK.

ASPHALT PAVEMENT SAWCUT & RESTORATION
N.T.S.

OFFSITE RESTORATION NOTES

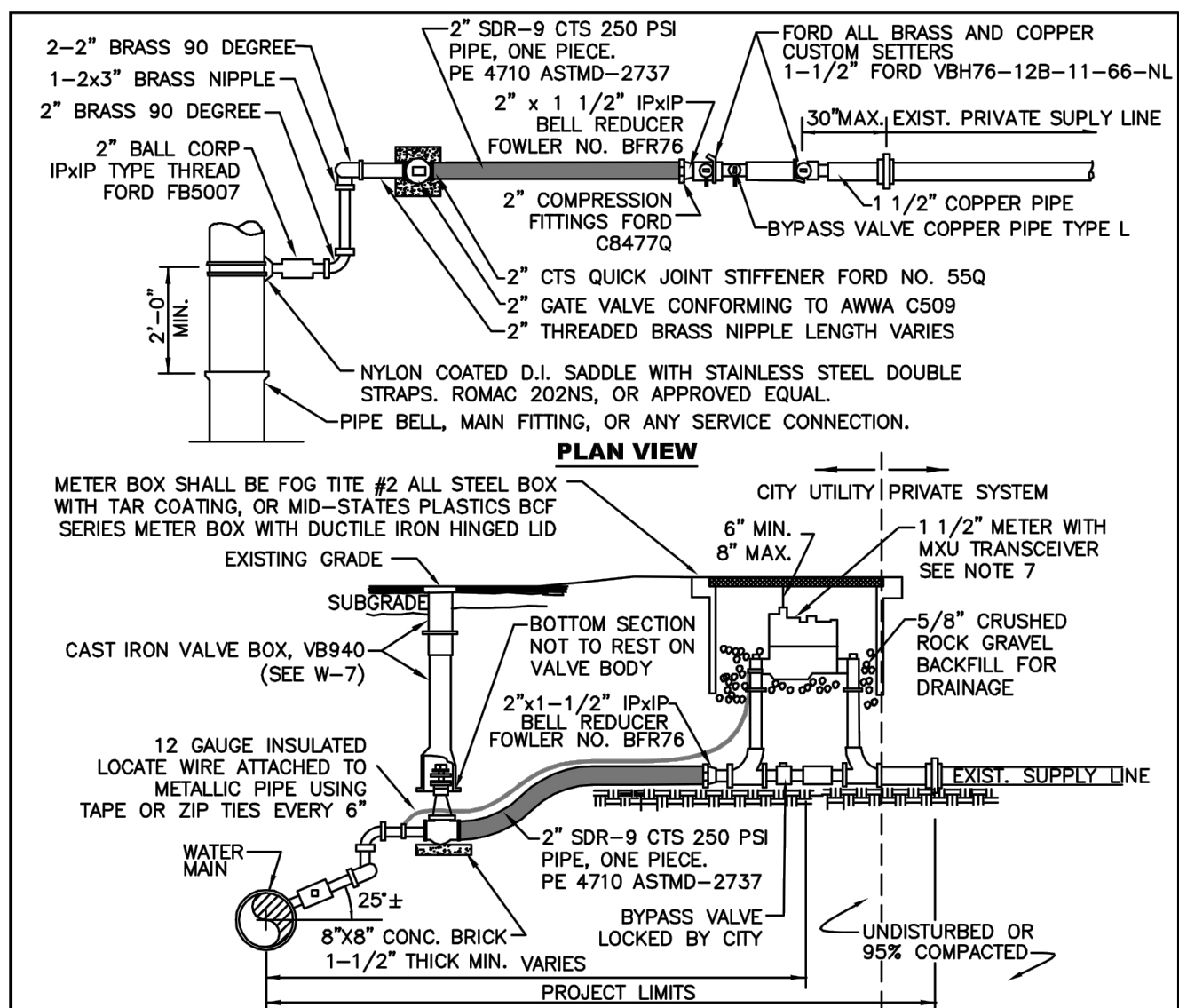
1. PRIVATE DRIVEWAY TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.
2. 48 HOUR ADVANCED NOTICE TO BE PROVIDED TO PROPERTY OWNER PRIOR TO BEGINNING WORK.
3. PORTION OF EXISTING ROCK, BLOCK, AND/OR LANDSCAPE WALL MAY REQUIRE REMOVAL TO FACILITATE CONSTRUCTION. ANY DISTURBANCE TO WALL SHALL BE RESTORED TO PRE-EXISTING CONDITION UPON COMPLETION OF CONSTRUCTION.
4. WATER SERVICES AND/OR ANY UTILITIES CROSSING PIPE ALIGNMENT TO BE FOTHOLED PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT AND MAINTAIN EXISTING WATER SERVICE DURING INSTALLATION OF NEW UTILITIES.
5. EXISTING TREES TO BE EVALUATED BY A CERTIFIED ARBORIST PRIOR TO CONSTRUCTION. ADDITIONAL PRECAUTIONARY MEASURES MAY BE REQUIRED DURING CONSTRUCTION.



DATE	BY	REVISION
04-02-24	EDM	DRAINAGE & SIDE SEWER REVISIONS
06-03-24	EDM	DETENTION TANK UTILITY REVISION

G2 CIVIL
1700 NW GILMAN BLVD, STE 200
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

SITE IMPROVEMENT PLAN
LOT 1 - SFR (93RD AVE SE)
PREMIUM HOMES OF MERCER ISLAND LLC
MERCER PG BOX 1639 98040
(206) 724-1072

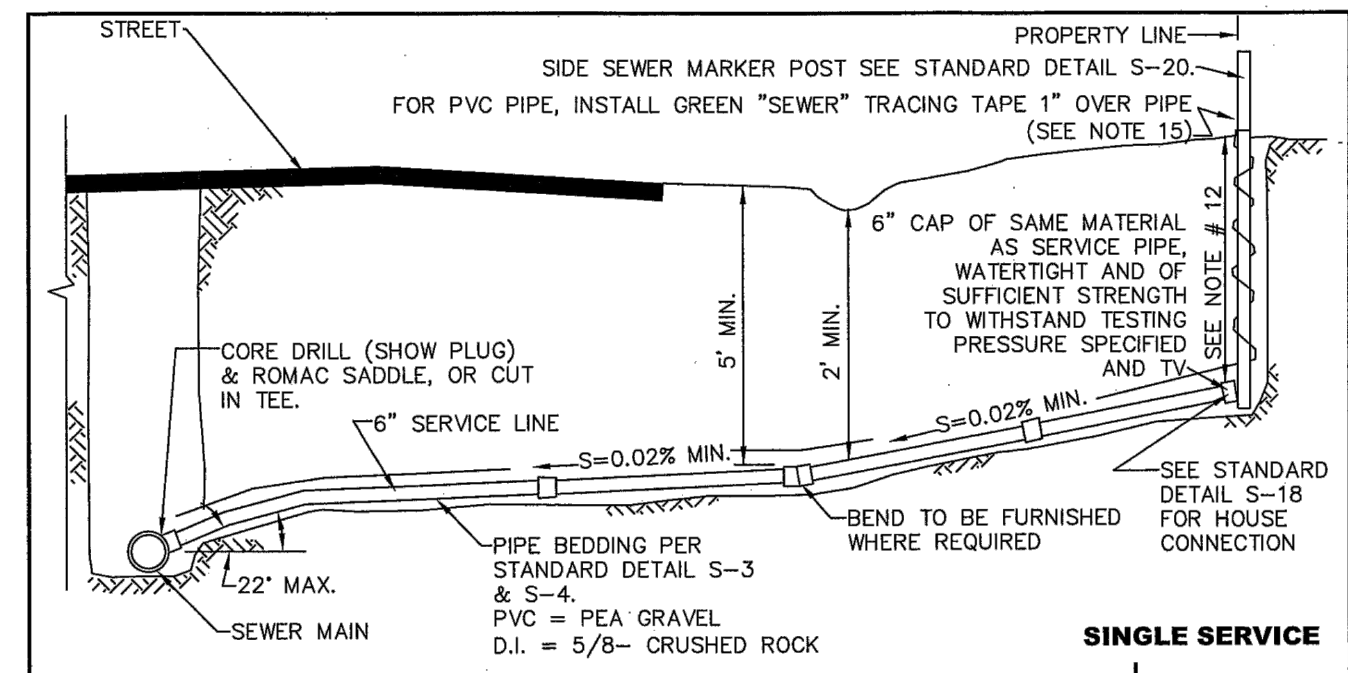


NOTES

1. WATER SERVICES SHALL COMPLY WITH THE REDUCTION OF LEAD IN DRINKING WATER ACT DATED 01/04/2014.
2. MINIMUM DISTANCE BETWEEN CORP STOPS SHALL BE 18" MINIMUM DISTANCE BETWEEN TAPS, BETWEEN CORP STOP AND PIPE ENDS SHALL BE 24", ALL HORIZONTALLY STAGGERED.
3. PLASTIC METER BOXES SHALL NOT BE INSTALLED WITHIN ROADWAY, SIDEWALK, OR DRIVEWAYS.
4. UPON CITY ENGINEER'S APPROVAL, METER BOXES ARE ALLOWED TO BE INSTALLED IN PORTLAND CEMENT CONCRETE PAVEMENT OR SIDEWALK.
5. WHEN CONNECTING TO EXISTING PRIVATE SUPPLY LINE CONTAINING FERROUS METAL, PROVIDE INSULATING COUPLING (DB SERIES WITH C21 SERIES ADAPTERS) AND PROVIDE REDUCER AS NECESSARY TO MATCH EXISTING PRIVATE SUPPLY LINE DIAMETER.
6. SERVICE LINE SHALL BE PERPENDICULAR TO THE WATER MAIN AND STRAIGHT TO WATER METER, UNLESS OTHERWISE APPROVED BY CITY ENGINEER. PROVIDE WINDING SLACK IN THE SERVICE LINE BETWEEN THE MAIN AND WATER METER.
7. WATER METER SUPPLIED BY CITY.
8. ALL FITTINGS TO BE BRASS COMPRESSION TYPE, FORD QUICK JOINT OR EQUAL.
9. NO SERVICE CONNECTIONS BETWEEN BLOW-OFF AND END OF MAIN.

REV DATE			
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**CITY OF MERCER ISLAND
STANDARD DETAILS
WATER
1-1/2" WATER
METER INSTALLATION
02-05-2021 NO SCALE W-14
APPROVED**

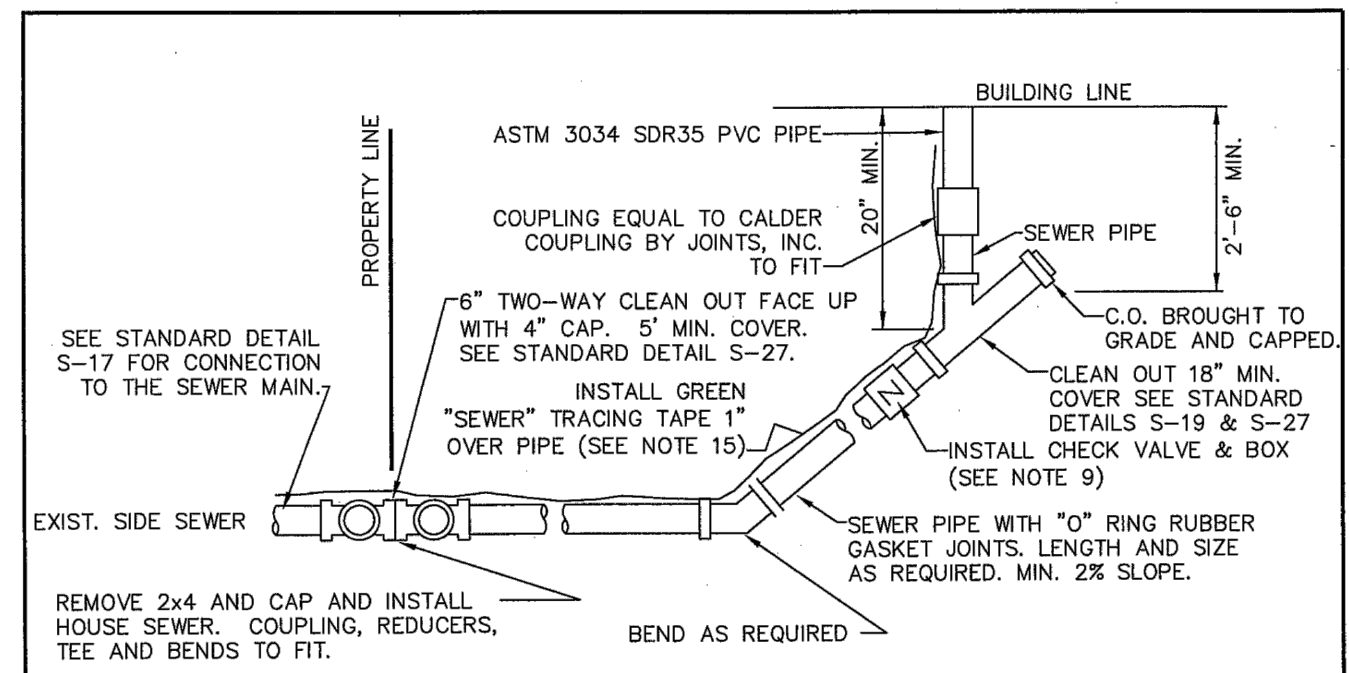


NOTES

1. ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
2. CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
3. RIGHT-OF-WAY RESTORATION SHALL MATCH OR EXCEED THE ORIGINAL CONDITION AND BE IN ACCORDANCE WITH CITY STANDARDS.
4. ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.9(3) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS OR MAY BE CDF WHEN DIRECTED BY THE CITY ENGINEER (SEE DETAIL S-3).
5. LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
6. 6" SEWER PIPE MINIMUM SIZE IN RIGHT-OF-WAY, AND ELSEWHERE AS DIRECTED BY ENGINEER. 2% MIN. GRADE (UNLESS DIRECTED BY ENGINEER). 50% MAXIMUM.
7. ALL A.C. MAINS TO BE TAPPED IN ACCORDANCE WITH WAC 296-62-00775.
8. CONSTRUCTION IN RIGHT-OF-WAY MUST BE DONE BY A REGISTERED AND LICENSED CONTRACTOR.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY SEWER ORDINANCES.
10. WHERE CITY ENGINEER ALLOWS SIDE SEWER CONNECTIONS TO MANHOLE, INVERT OF SIDE SEWER SHALL BE EQUAL TO OR ABOVE MAIN SEWER CROWN, BUT NOT TO EXCEED 18" ABOVE INVERT OF MAIN SEWER.
11. UNLESS OTHERWISE INDICATED ON PLAN, SIDE SEWER SHALL BE MIN. OF 6" DEEP AT PROPERTY LINE, OR 5" LOWER THAN THE LOWEST ELEVATION, WHICH EVER IS LOWER.
12. ALL PIPE MATERIALS NOT TO STANDARDS WILL BE ABANDONED AND REPLACED WITH DUCTILE IRON OR PVC PIPE OF THE SAME SIZE.
13. IF A BUILDING IS TO SERVE MORE THAN ONE PROPERTY, BY JOINT AGREEMENT OF THE OWNERS, AN APPROVED EASEMENT INSURING THAT ALL PROPERTIES INVOLVED SHALL HAVE PERPETUAL USE OF THE SIDE SEWER, HAVING PROVISIONS FOR OPERATION, MAINTENANCE, RECONSTRUCTION AND FOR ACCESS FOR REPAIR PURPOSES, SHALL BE SIGNED BY THE OWNERS. THIS EASEMENT SHALL BE RECORDED WITH THE COUNTY AUDITOR. A SIX INCH (MINIMUM) DIAMETER PIPE SHALL BE USED FOR THE COMMON LINE AND A SIX INCH CLEANOUT EXTENDING TO WITHIN 12 INCHES OF THE GROUND SURFACE SHALL BE PROVIDED AT THE WYE WHERE THE UPPER GRADE CONNECTIONS ARE MADE. BACKWATER VALVES SHALL BE INSTALLED ON SERVICE LINES UPSTREAM OF THE CONNECTION TO THE SHARED SIDE SEWER.
14. THE CITY ENGINEER MAY REQUIRE BACKWATER VALVES ON SIDE SEWERS WHEN DEEMED NECESSARY, THE EFFECTIVE OPERATION AND MAINTENANCE OF ANY BACKWATER VALVE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SIDE SEWER.
15. UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

REV DATE			
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**CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
SIDE SEWER CONNECTION
AND STUB
6-5-2009 NO SCALE S-17
APPROVED**

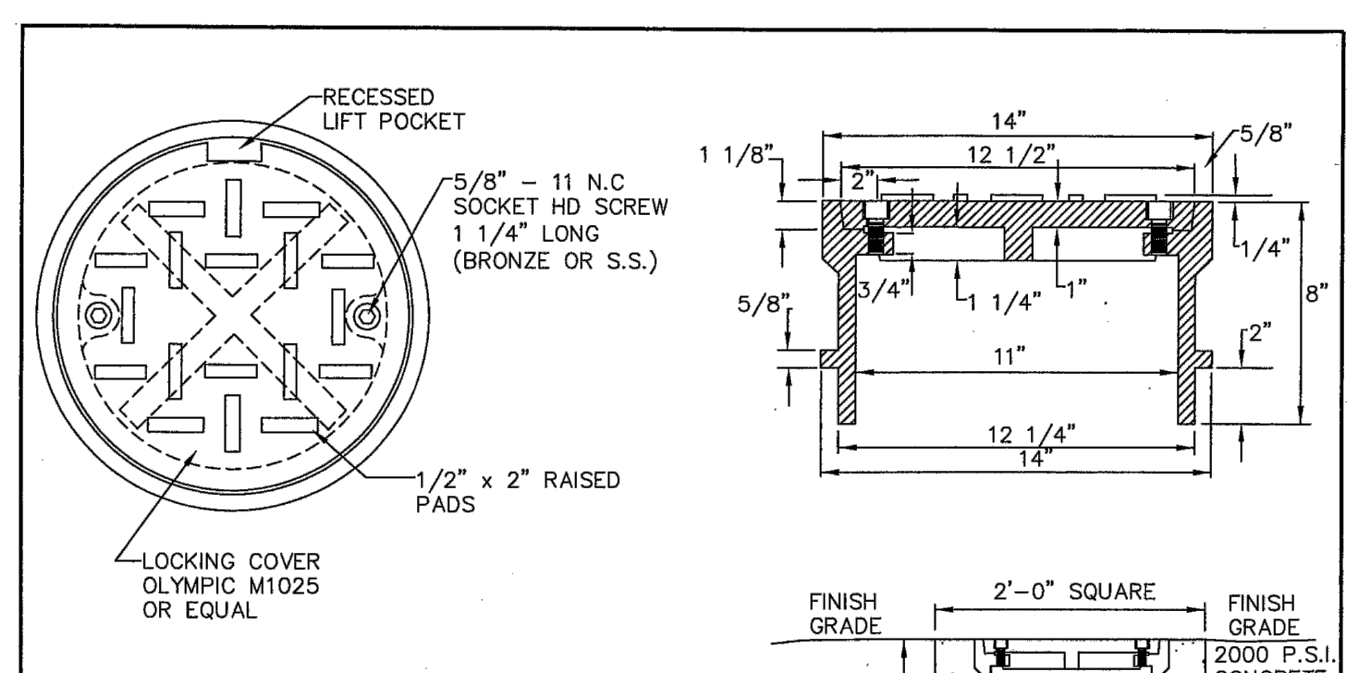


NOTES

1. ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
2. CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
3. ALL HOUSE PLUMBING OUTLETS MUST BE CONNECTED TO THE SEWER. NO DOWN SPOUTS OR STORM DRAINAGE MAY BE CONNECTED TO THE SEWER SYSTEM.
4. 18" MINIMUM COVERAGE OVER PIPE.
5. LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
6. 4" SEWER PIPE MINIMUM SIZE ON PROPERTY. 2% MINIMUM GRADE.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT SEWER ORDINANCES.
8. ALL CONSTRUCTION REQUIRES A PLAN SHOWING PROPERTY AND DIMENSIONS AND COMPLETION OF SIDE SEWER APPLICATION AND MAINTENANCE AGREEMENT, AS NEEDED.
9. BACK WATER VALVE (CHECK VALVE) IS REQUIRED:
 - A. IF CONNECTED TO A SHARED SIDE SEWER.
 - B. IF CONNECTION AT HOUSE IS LOWER THAN BOTH UPSTREAM AND DOWNSTREAM MANHOLE.
 - C. SEE S-23 & S-24 FOR LAKE LINE REQUIREMENTS.
10. AS-BUILT DRAWING SHOWING LOCATION OF SIDE SEWER & ALL BENDS, C.O. ETC., IN RELATION TO THE HOUSE IS REQUIRED AFTER INSPECTION & INSTALLATION. SEE STANDARD DETAIL S-38 FOR A TYPICAL "AS BUILT".
11. THE MINIMUM PIPE SIZE FOR SIDE SEWERS SHALL BE:
 - 6" - WITHIN THE PUBLIC RIGHT-OF-WAY.
 - 4" - SINGLE FAMILY RESIDENCES.
 - 6" - 2 TO 6 SINGLE FAMILY RESIDENCES.
 - 6" - BUILDINGS OTHER THAN SINGLE FAMILY RESIDENCES.
12. UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

REV DATE			
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**CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
HOUSE SEWER CONNECTION
6-5-2009 NO SCALE S-18
APPROVED**



NOTES

1. SEE S-27 FOR INSTALLATION DETAILS.

REV DATE			
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**CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
CLEAN OUT DETAIL
6-5-2009 NO SCALE S-19
APPROVED**

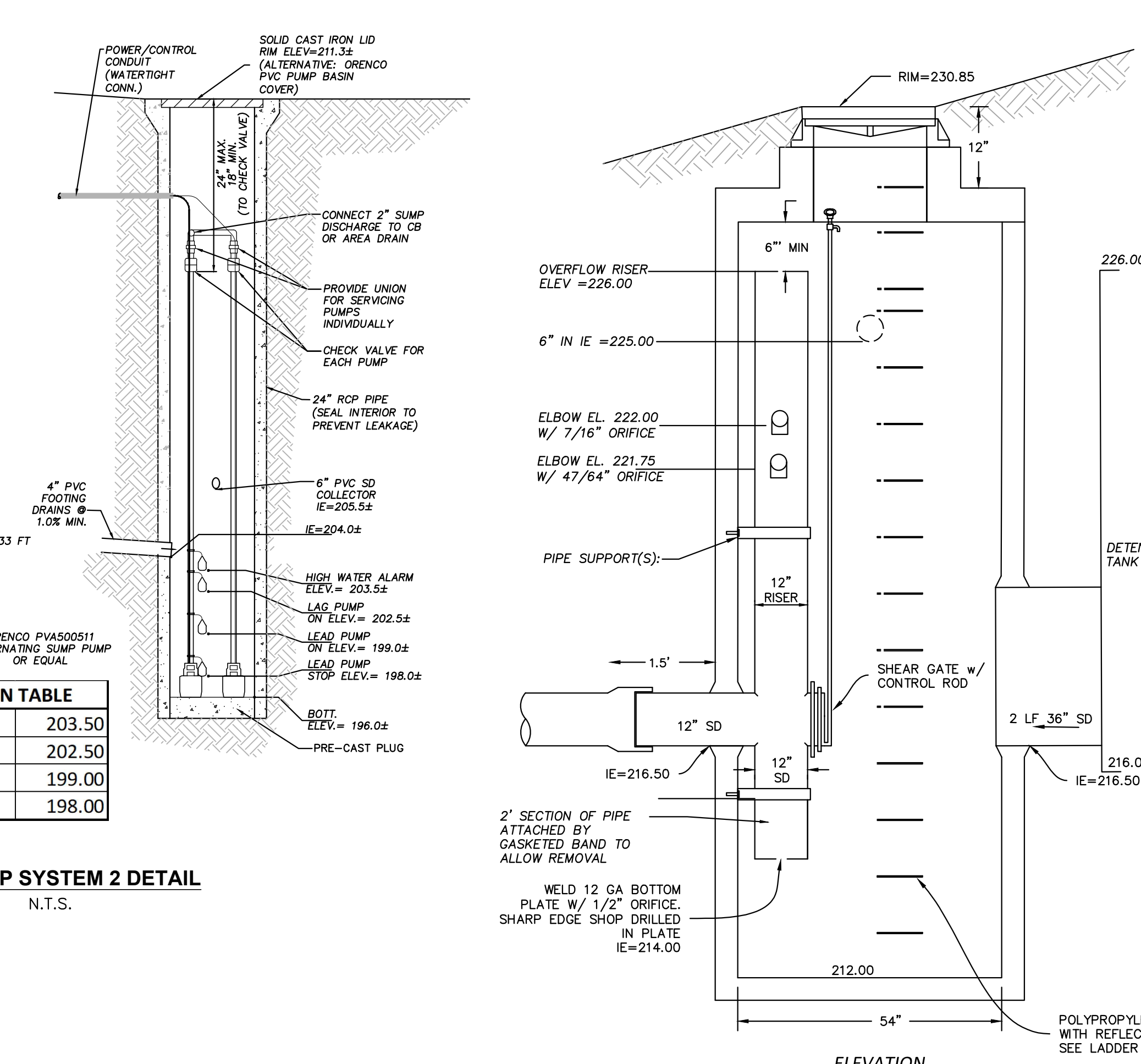
STORMWATER PUMP SYSTEM NOTES

- 1) THE PUMP SYSTEM MUST BE PRIVATELY OWNED AND MAINTAINED. THE PUMP SYSTEM SHALL HAVE A DUAL PUMP (ALTERNATING), UNLESS OTHERWISE APPROVED.
- 2) THE PUMP SYSTEM SHALL BE USED TO CONVEY WATER FROM ONE LOCATION OR ELEVATION TO ANOTHER WITHIN THE PROJECT SITE, PRIOR TO GRAVITY DISCHARGE TO THE PUBLIC STORM DRAINAGE SYSTEM.
- 3) THE PUMP SYSTEM MUST BE CONNECTED TO AN EMERGENCY BACK-UP GENERATOR.
- 4) ALL PUMPS SHALL BE EQUIPPED WITH AN EXTERNAL VISUAL AND AUDIBLE ALARM SYSTEM.
- 5) THE PUMP SYSTEM SHALL NOT VIOLATE ANY CITY ORDINANCES OR CODES.
- 6) NO FORCED MAIN SYSTEM SHALL BE DIRECTLY CONNECTED TO THE CITY'S STORM CONVEYANCE. ALL FORCED MAIN FROM PUMP SYSTEMS SHALL CONNECT TO A CB OR YARD DRAIN ON SITE AND GRAVITY TO THE STORM SYSTEM IN THE RIGHT-OF-WAY.

PUMP CONTROL SYSTEM:
PROVIDE A S-E-RHOMBUS 1221 SINGLE PHASE DUPLEX ALTERNATING PUMP CONTROL PANEL WITH OVERRIDE CIRCUIT BREAKER, PUMPS TO OPERATE AS A STANDARD LEAD, LAG, ALTERNATING STYLE OF SYSTEM. PANEL TO BE MOUNTED INSIDE GARAGE. PUMPS, PUMP BASIN, AND CONTROL PANEL ARE AVAILABLE AT HD FOWLER, PH. (425) 746-8400

PUMP MANUFACTURER TO CONFIRM PUMP CAN HANDLE DESIGN PARAMETERS PRIOR TO PLACING ORDER.

DESIGN PARAMETERS:
TOTAL DYNAMIC HEAD=33 FT



ORENCO PVA500511 FLOAT SWITCH ELEVATION TABLE

HIGH WATER ALARM	203.50
LAG PUMP ON	202.50
LEAD PUMP ON	199.00
PUMPS OFF	198.00

**SUMP PUMP SYSTEM 2 DETAIL
N.T.S.**

**SDMH #4 TYPE 2-54"
N.T.S.**

NOTES

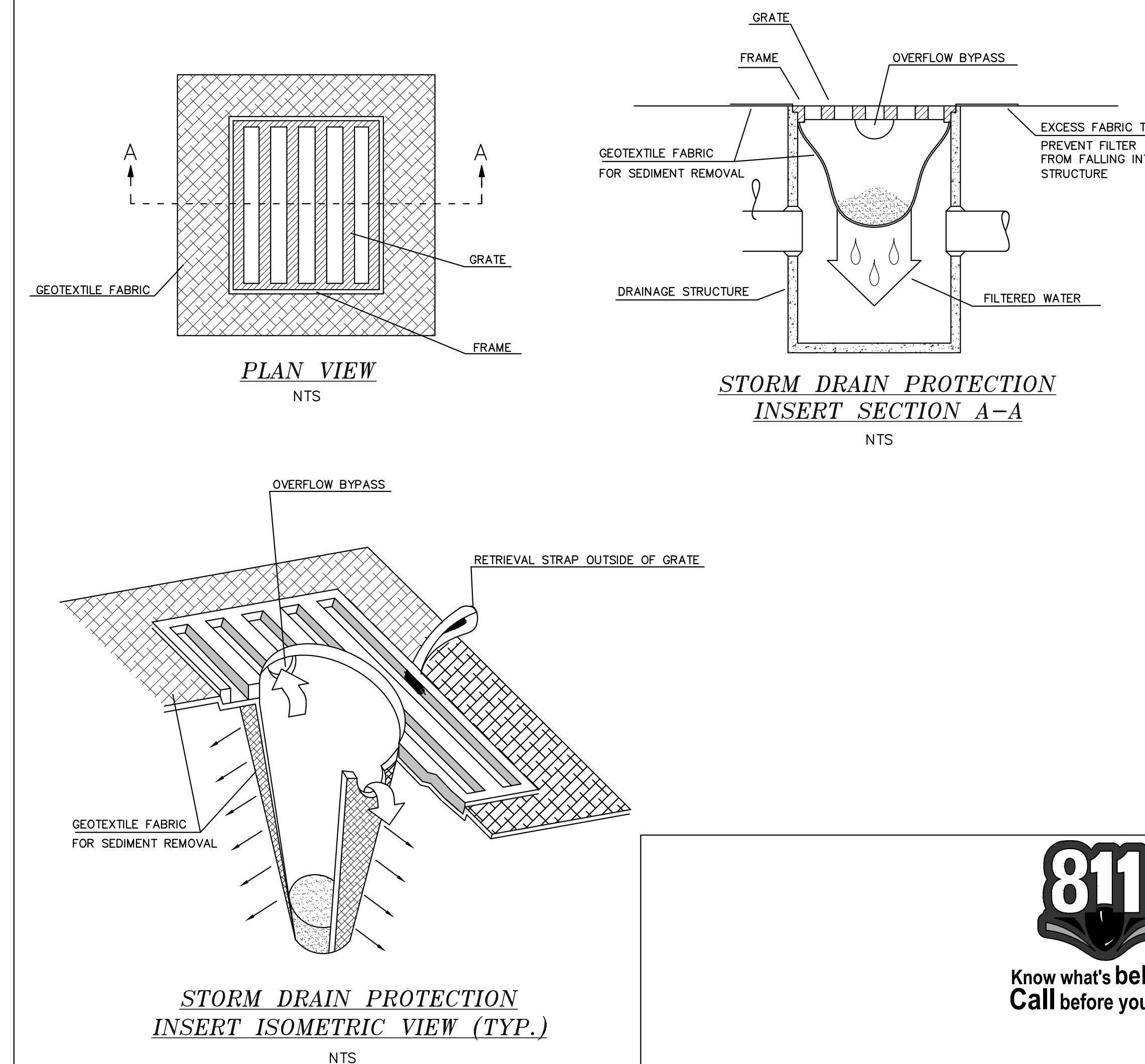
1. METAL PARTS SHALL BE CORROSION RESISTANT, EITHER ALUMINUM OR STAINLESS STEEL.
2. RISER STRUCTURE MATERIAL SHALL BE ALUMINUM. FASTENERS MAY BE STAINLESS STEEL.
3. DETENTION TANK TO BE COATED CORRUGATED METAL PIPE (CMP). ALL OTHER STORM DRAINAGE PIPES TO BE PVC SDR 35.
4. SHEAR GATE SHALL BE PRODUCT MADE OF CAST ALUMINUM (NO CAST IRON).
5. GATE SHALL BE 8" OR LARGER.
6. LIFT ROD AS SPECIFIED BY MANUFACTURER, HANDLE EXTENDING TO WITHIN ONE FOOT OF COVER AND ADJUSTABLE HOOK LOCK FASTENED TO FRAME OR UPPER HANDHOLD.
7. TOP HAND HOLD SHALL BE LOCATED LESS THAN 18" BELOW FINISHED GRADE.

LADDER NOTES

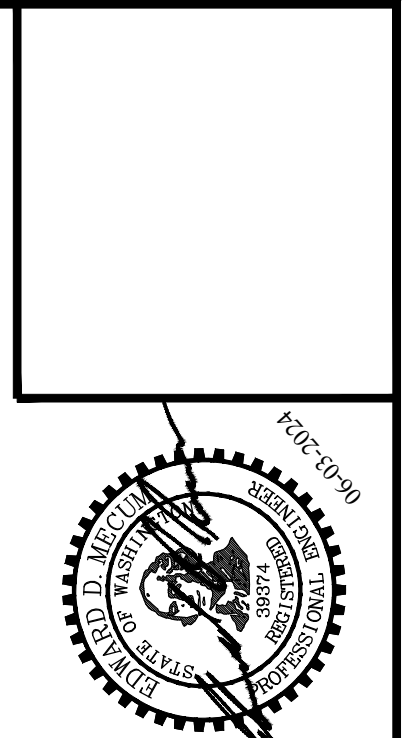
1. ALL STEPS SHALL MEET THE REQUIREMENTS OF ASTM C-478, AASHTO M-199, WSHA AND ALL ASHA SPECIFICATIONS.
2. THE POLYPROPYLENE SHALL CONFORM TO ASTM D-4101.
3. THE 1/2" GRADE 60 DEFORMED REINFORCING BAR SHALL MEET ASTM A-615.
4. STEP REFLECTORS OR BRIGHT COLORED STEPS REQUIRED.

INSTALLATION:
THE STEP CAN BE:
1. CAST IN PLACE.
2. DRIVEN INTO PREFORMED HOLES WITH CONCRETE CURED TO 3,000 PSI MINIMUM.
3. DRIVEN INTO 2 PARALLEL 1" DIAMETER HOLES DRILLED 13" OR 10" ON CENTER, 3-1/2" DEEP.
4. DRILL TWO 1-1/8" OR 1-1/4" HOLES, 3-1/2" DEEP. APPLY CURRENT WSDOT EPOXY SPECIFICATION IN THE HOLE AND AROUND THE BARS OF THE STEP. PUSH THE STEP INTO THE HOLES ALLOWING THE EPOXY TO FLOW OUT TO THE SQUARE SHOULDER OF THE STEP.

ANY OF THE ABOVE METHODS WILL RESIST A PULLOUT FORCE OF OVER 1,500 LBS.



**STORM DRAIN PROTECTION
INSERT ISOMETRIC VIEW (TYP.)
N.T.S.**



DATE	04-02-24	DATE	06-03-24
CHKD BY	EDM	CHKD BY	EDM
DWN BY	JAT	DWN BY	JAT
NOTES	DRAINAGE & SIDE SEWER REVISIONS	NOTES	DETENTION TANK & UTILITY REVISION

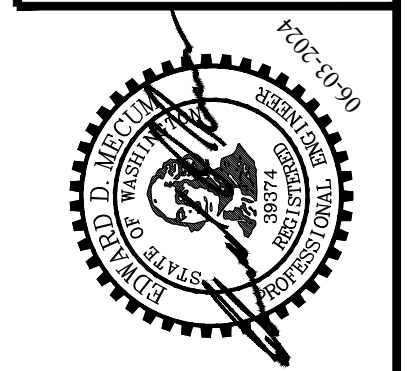
G. J. CIVIL

1700 NW GILMAN BLVD, STE 200
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

**C.O.M.L STANDARD DETAILS
LOT 1 - SFR (93RD AVE SE)**

PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCE (206) 724-1072

SHEET
4 of 5

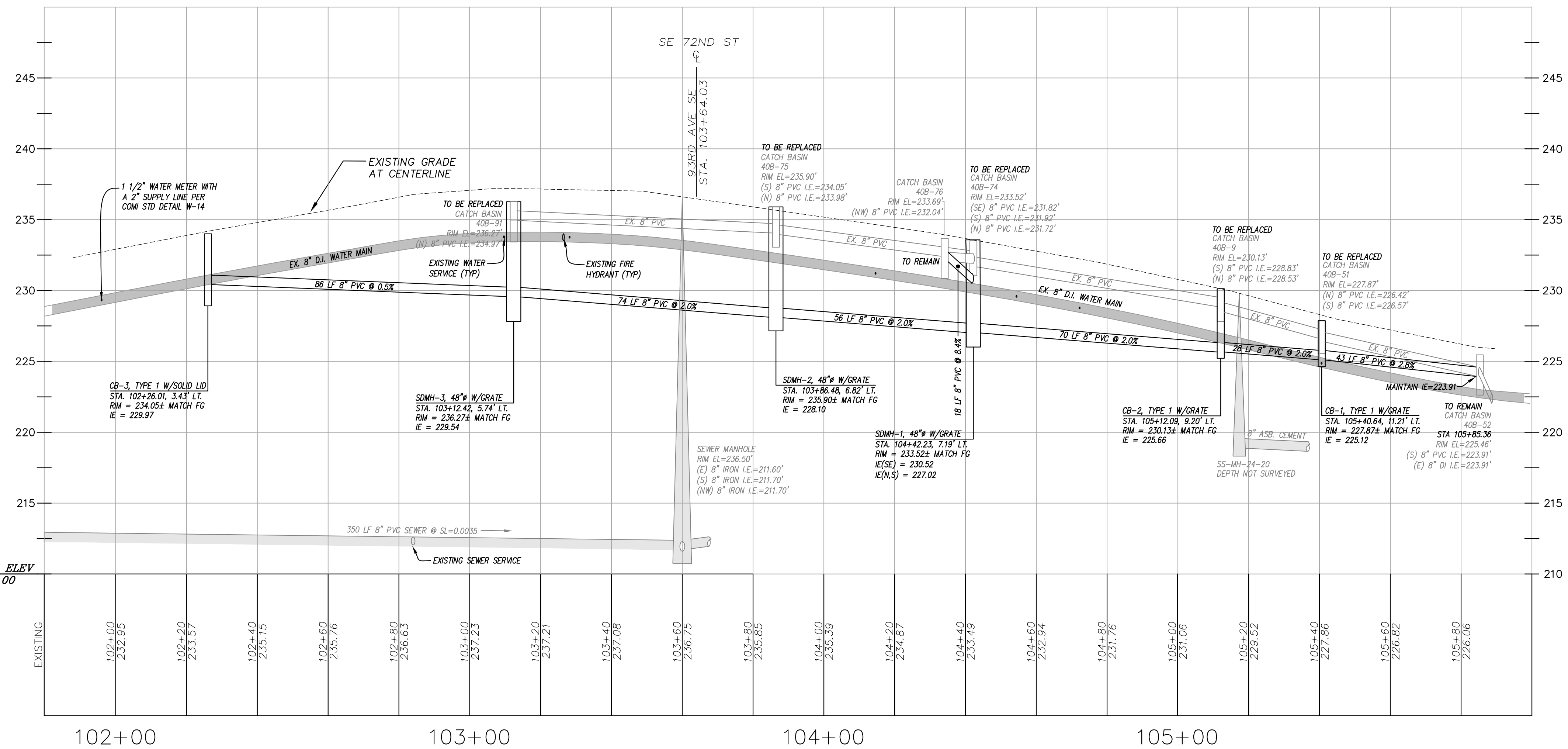


DATE	BY	REVISION
04-02-24	EDM	DRAINAGE & SIDE SEWER REVISIONS
06-03-24	EDM	DETENTION TANK & UTILITY REVISION

1700 NW GILMAN BLVD, STE 200
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

OFF-SITE STORM EXTENSION & DETAILS
LOT 1 - SFR (93RD AVE SE)

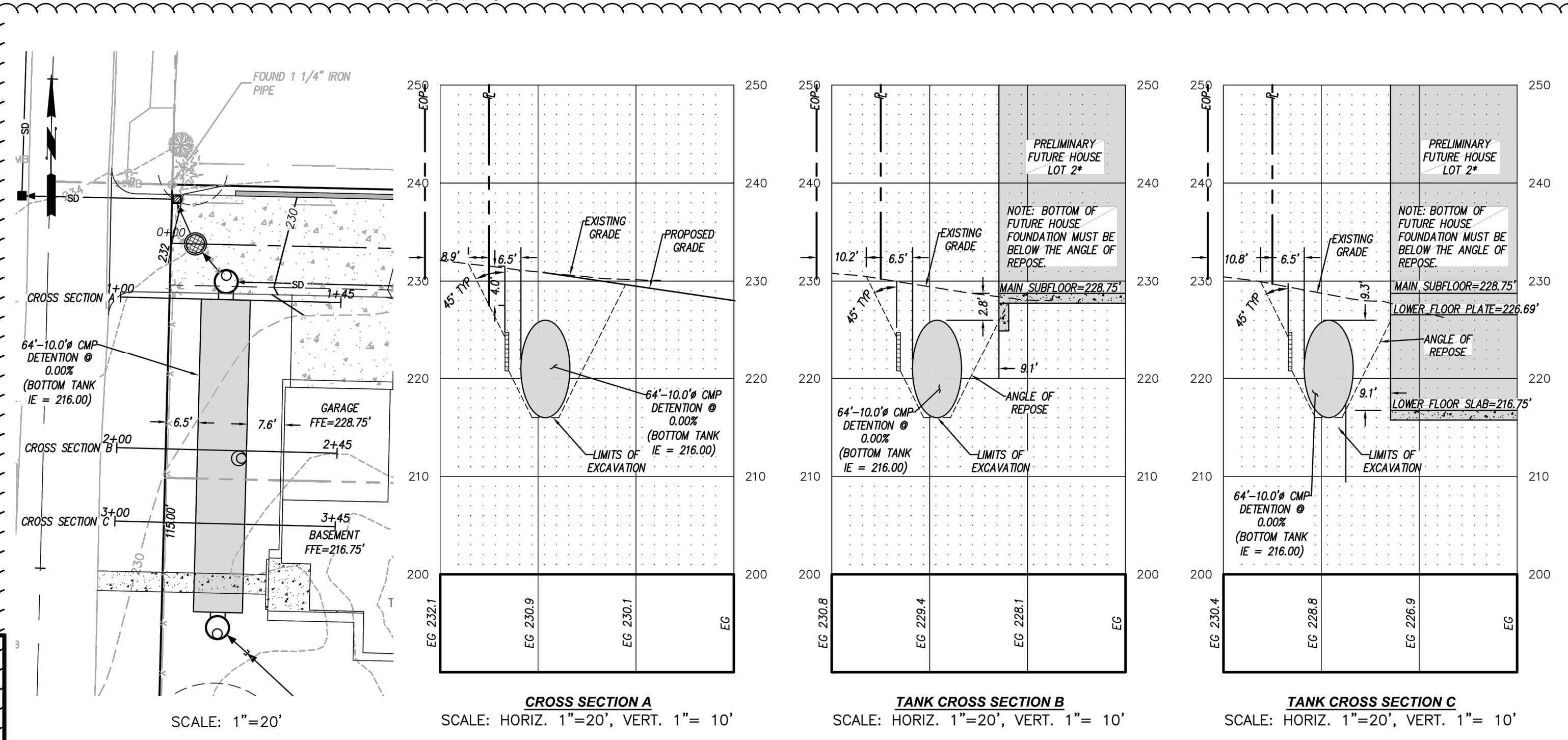
PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCER ISLAND, WA 98040
(206) 724-1072



93RD AVE SE C/L PROFILE

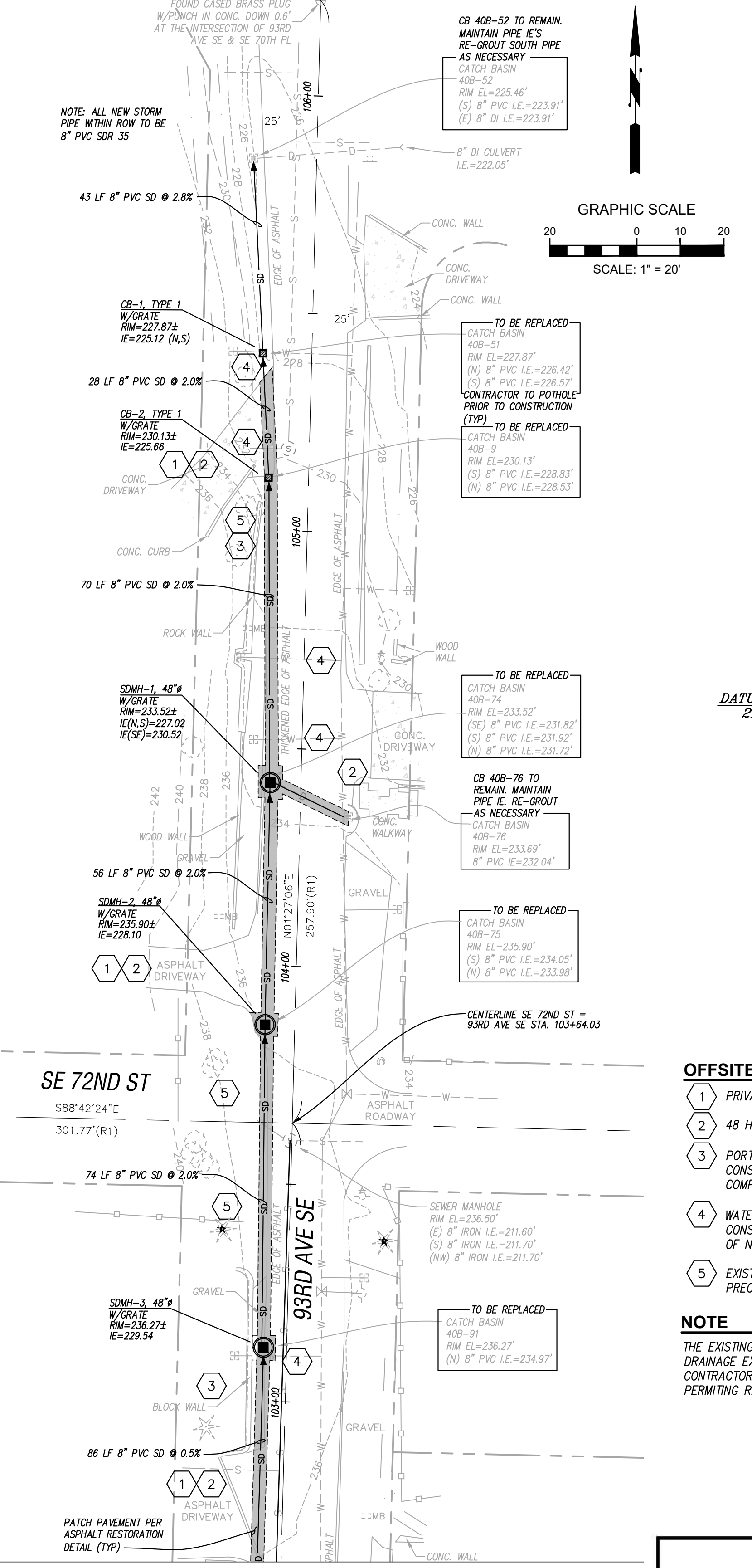
- OFFSITE RESTORATION NOTES**
- PRIVATE DRIVEWAY TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.
 - 48 HOUR ADVANCED NOTICE TO BE PROVIDED TO PROPERTY OWNER PRIOR TO BEGINNING WORK
 - PORTION OF EXISTING ROCK, BLOCK, AND/OR LANDSCAPE WALL MAY REQUIRE REMOVAL TO FACILITATE CONSTRUCTION. ANY DISTURBANCE TO WALL SHALL BE RESTORED TO PRE-EXISTING CONDITION UPON COMPLETION OF CONSTRUCTION.
 - WATER SERVICES AND/OR ANY UTILITIES CROSSING PIPE ALIGNMENT TO BE POTHOLED PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT AND MAINTAIN EXISTING WATER SERVICE DURING INSTALLATION OF NEW UTILITIES.
 - EXISTING TREES TO BE EVALUATED BY A CERTIFIED ARBORIST PRIOR TO CONSTRUCTION. ADDITIONAL PRECAUTIONARY MEASURES MAY BE REQUIRED DURING CONSTRUCTION.

NOTE
THE EXISTING SEWER & WATER SERVICES (ALONG WITH DRY UTILITIES) WITHIN THE PROPOSED STORM DRAINAGE EXTENSION WILL NEED TO BE LOCATED AND POTHOLED PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL NEED TO COORDINATE WITH THE CITY & INSPECTOR REGARDING ANY ADDITIONAL PERMITTING REQUIREMENTS. THE UPDATE SHALL BE SENT TO THE ENGINEER TO VERIFY NO CONFLICTS EXIST.

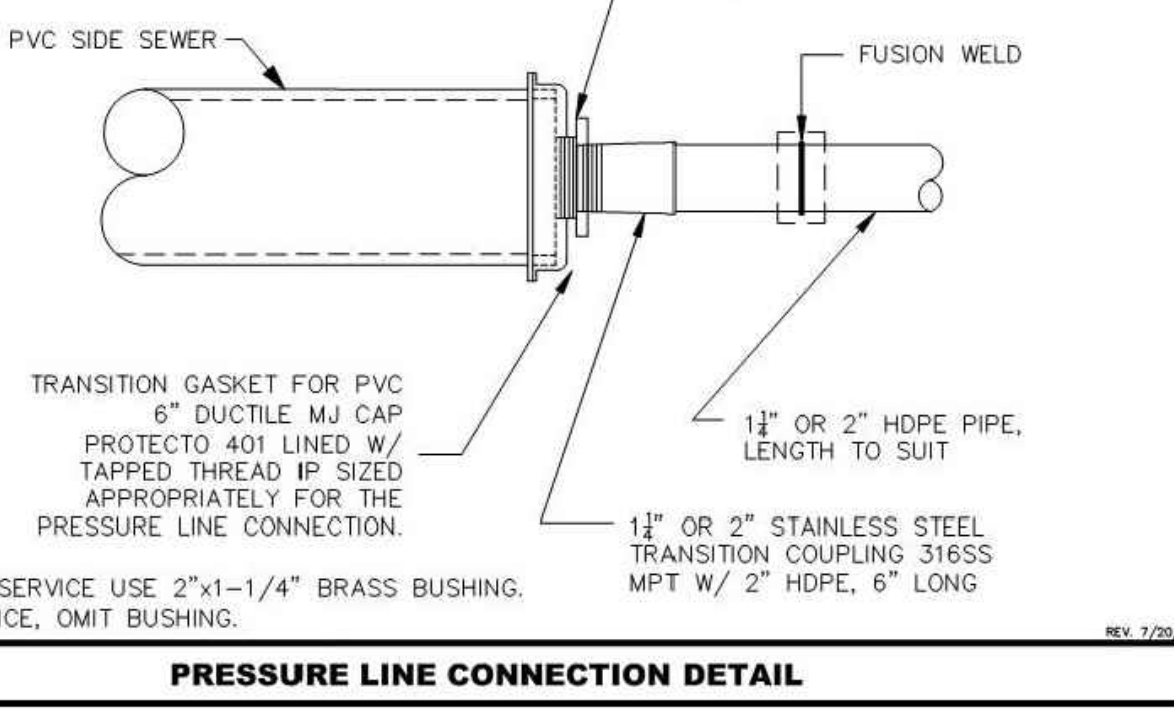
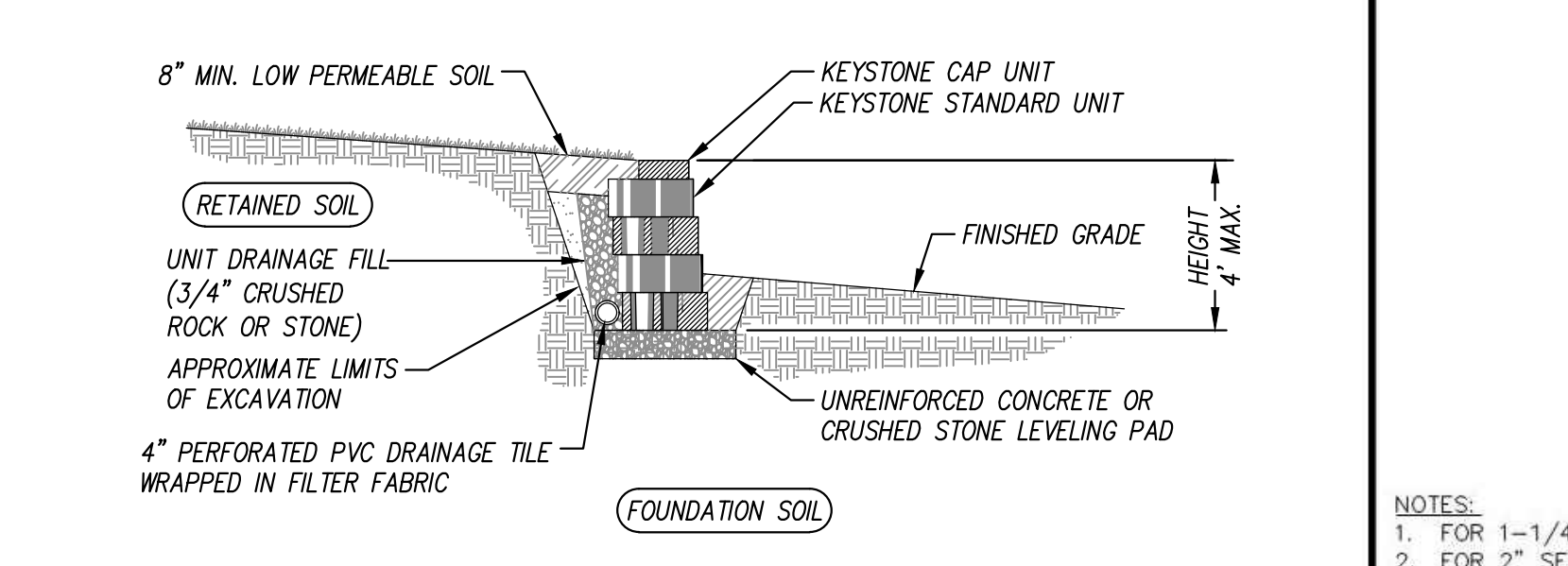


TANK EXHIBIT

* NOTE: LOT 2 HOUSE SECTION PROVIDED FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS AND ELEVATIONS FOR FINAL DESIGN UNDER SEPARATE PERMIT.



TYPICAL BLOCK WALL DETAIL



NOTES:
1. FOR 1-1/4\"/>

